

For office use: **C22-0019**
Application No. _____

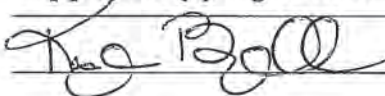

Land Use Application

Applicant(s)	Kyle Brazell
Mailing Address:	11 Pitman Lyle, WA 98635
Phone:	801-695-6500
Email	kyleanita@hotmail.com
Property Owner(s)	Kyle Brazell
Mailing Address:	11 Pitman Lyle, WA 98635
Phone:	801-695-6500
Email:	kyleanita@hotmail.com
Summary of Proposal	Accessory Building
Parcel Address	11 Pitman Lyle, WA 98635
Township, Range, Section, Qtr. Section	Northwest 1/4 Section 34, Township 3N, R12 East
Tax Lot Number(s)	03123400000500
Parcel Size (acres)	32
Existing Use of Parcel	Residential
Use of Adjacent Parcels	Residential and Agricultural

Project Description: Please describe all proposed development and use of the development, including size, height, exterior colors, construction materials of proposed structures (including access roads), areas of ground disturbance, and landscaping details. Please describe all aspects of your project in this description or the public notice and final decision may not include an element of your development, which could require a new notice and decision. You may attach additional pages if necessary.

SEE ATTACHED

The property owner and holders of easements and partial interests indicate that they are aware that an application is being made on the subject property and the property owner authorizes the Gorge Commission and the Commission's designees reasonable access to the site to evaluate the application.

Applicant(s) signature:	Date
	10/17/22
Property owner(s) signature:	Date
	10/17/22
Easement and Partial Interest(s) signature:	Date
w/A	

October 2022

Kyle Brazell
11 Pitman Rd
Lyle, WA 98635

RE: Gorge Commission Proposal – General Description
Use for RV/Tractor/Vehicle/General storage

Took possession of property in November 2021. My understanding is the house was approved by the commission at time of remodel approximate 20 years prior. I do not know the status of all outbuildings as far as approval. They appear to be in existence for a longer period. The original structure of the house goes back 90 to 100 years. The outbuildings may have come from the interim of the remodel and the original.

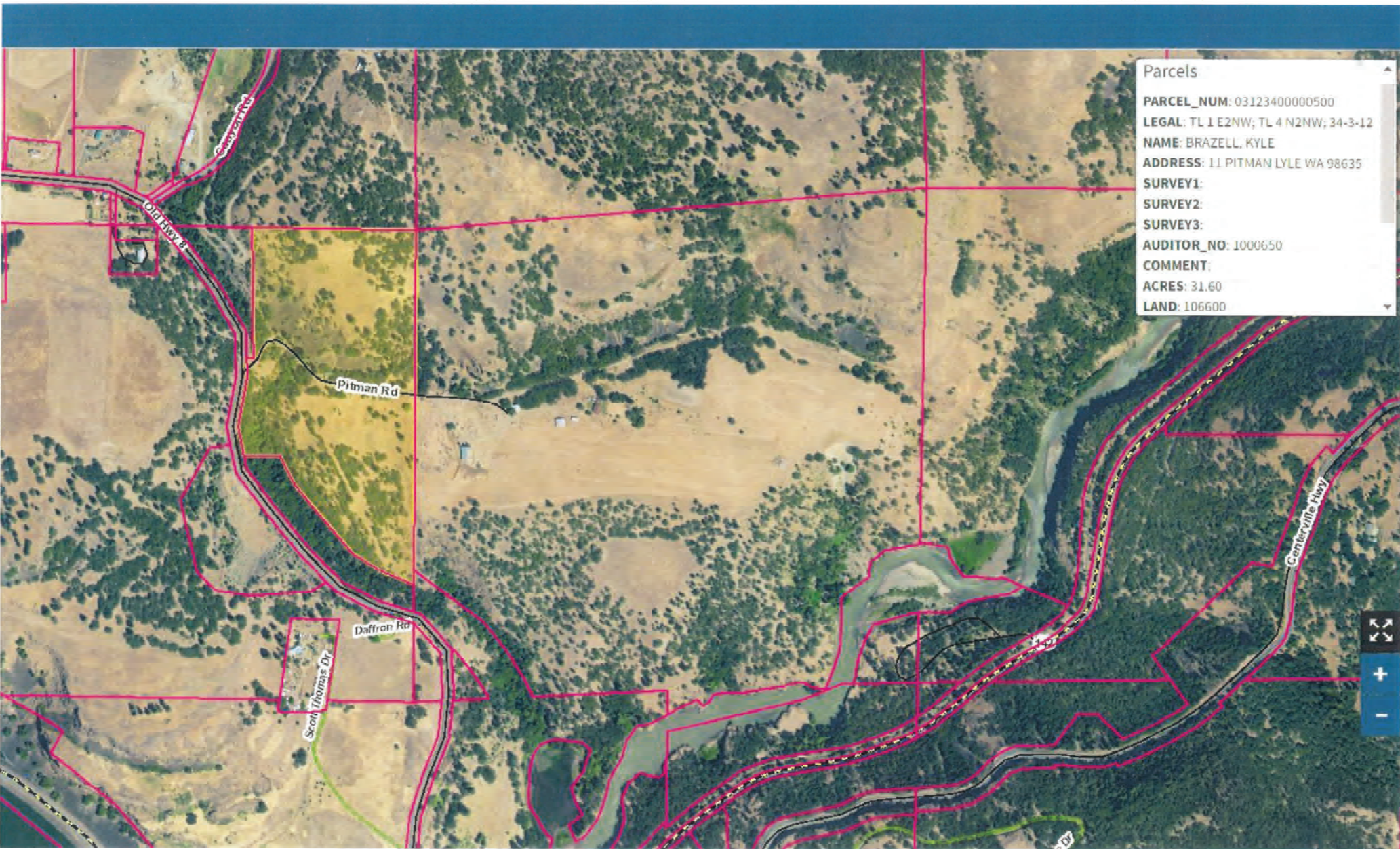
Proposed garage/barn site was chosen for relatively flat ground, hidden from view by trees, and simplicity of site in general. The existing pine trees are in position to hide the proposed garage from views without being so close as to create a fire danger. The proposed site requires little change to the natural environment. It allows for easy access with vehicles and trailers. The explored option of placing the proposed garage on the same side of road as house would have required significant grading/and or fill in a very rocky area. This North side of the road is rocky, steep, with exiting trees. It would require trees to be removed and/or be very close to structure as to create a fire protection issue. In addition, would have been challenging to access with larger vehicles and trailers.

Specifics

- 24x42 – 23H at Ridge, 28.7 at Cupola
- 1008 Sq Ft
- 12x42 attached Carport – 16H
- Warm Espresso siding color - <https://woodtone.com/product/rusticseries/rusticseries-panel/?swatch=2&texture=> James Hardee Synthetic
 - Roasted Walnut for accent color
- Roof IKO – Earthtone Cedar - <https://www.iko.com/na/shingles-by-color/>
 - Architectural synthetic shingle
- Framing 2x6 Douglas Fir / Roof 7/12 Pitch

General

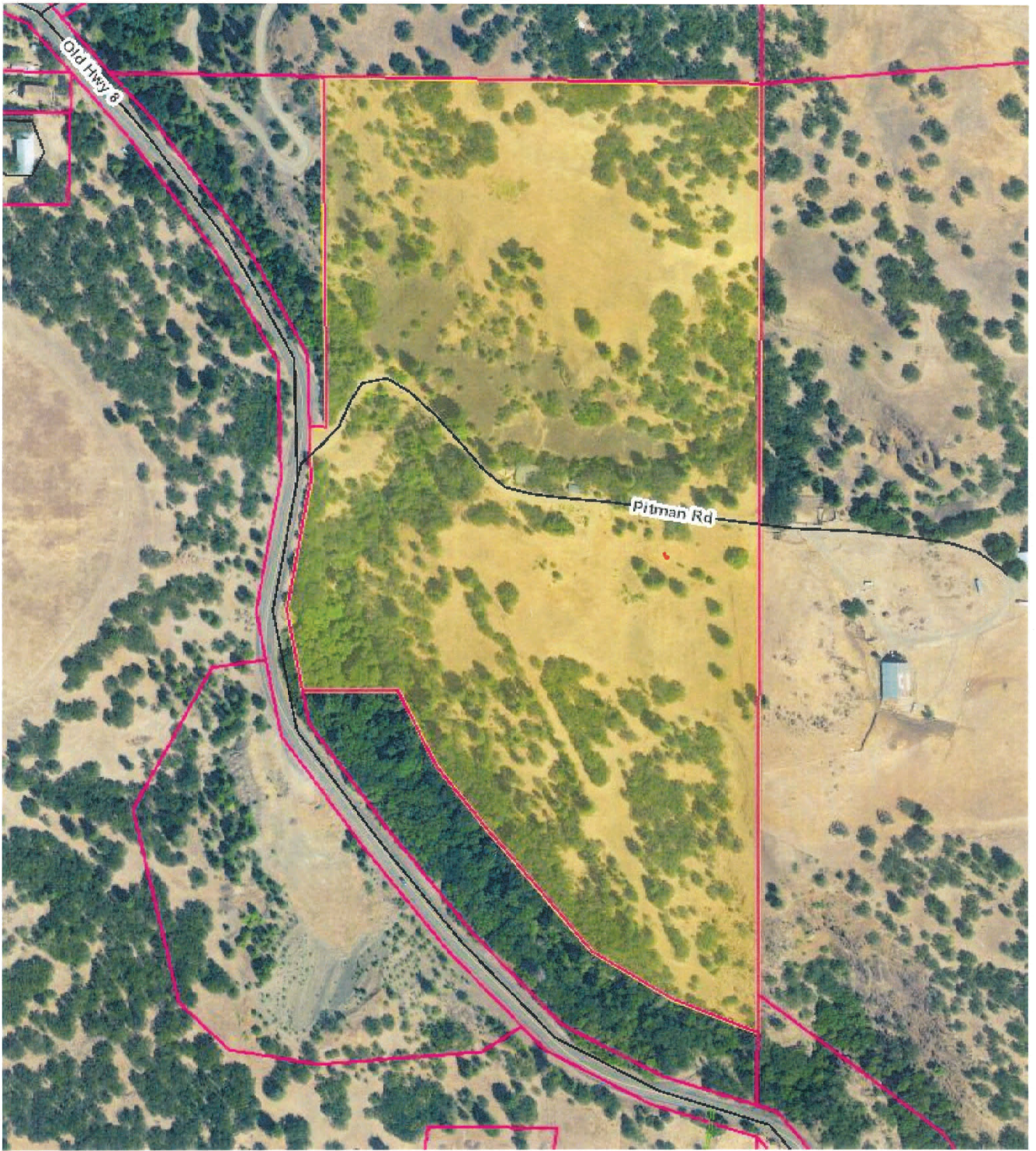
- Proposed site has minimal grading. Proposed garage area is served by existing gravel drive. Final excavation is less than a 10% grade and will require less than 100 cubic yards of material.
- No significant vegetation (this includes trees or shrubbery) will be removed (grass and weeds only).
- Site is viewable from the Rowena Crest Viewpoint on Historic Columbia Highway from the South. Existing Pine trees will block most or all of the garage from this viewpoint
- No Landowners within 200 feet.



Parcels

PARCEL_NUM: 03123400000500
LEGAL: TL 1 E2NW; TL 4 N2NW; 34-3-12
NAME: BRAZELL, KYLE
ADDRESS: 11 PITMAN LYLE WA 98635
SURVEY1:
SURVEY2:
SURVEY3:
AUDITOR_NO: 1000650
COMMENT:
ACRES: 31.60
LAND: 106600







Google Earth

Imagery date: 7/25/21-newer

80 ft

Camera: 974 ft 45°-2'26"N 121°17'30"W

466 ft

1 INCH = 33ft

12

↑ N

Kyle & Anita Brazell
11 Pitman Rd
Map Legend - Structures

Pitman Road - County and utility easement

County does not have accurate records on actual easement as records un-readable

Road is 16 ft wide

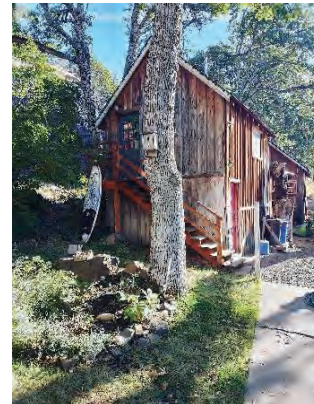
- 1 House
Commission Approved
2214 Square Feet - 2 BR 2 Bath



- 2 Septic Tank and Leach Field
Red Flag is tank - Leach Field beyond



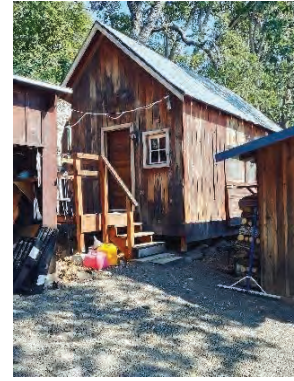
- 3 Outbuilding 1
Bedroom - no water, electricity only - Storage below
11' Ft Depth
24' Ft Length
13' Ft / 19'ft high at Apex
264 Sq Ft.



- 4 Storage Shed off of Outbuilding 1
11' Ft Depth
12' Ft Length
132 Sq. Ft



- 5 Outbuilding 2
Old Chicken Coop, Room - no water, electricity only
12' ft Depth
20' ft Length
10' Ft / 16'ft high at Apex
240 Sq Ft



- 6 Tool Shed
12' ft Depth
21' ft Length
10' Ft Height
252 Sq. Ft.



- 7 Storage off of Tool Shed
12' ft Depth
10' ft Length
120 Sq. Ft.



- 8 Well Head
Primary water source

- 9 Cistern
Active spring is source
Original house water source
8 ft Wide 18 ft Depth
5 / 7 / 11 ft Height
560 Cubic Ft
4180 Gallons

Primary Purpose - Irrigation



10 Garden



11 Gravel Drive to Proposed Garage
17 feet wide with variability



12 Existing "Campsite / Parking"
16 feet wide with variability



13 Proposed Garage/Barn site
Garage / Barn
24ft wide x 42ft length
1008 Sq.Ft.
23ft H @ Ridge, 28'7" @ Cupola
Attached Carport
12ft wide x 42ft length
504 Sq. Ft
16 Ft. height

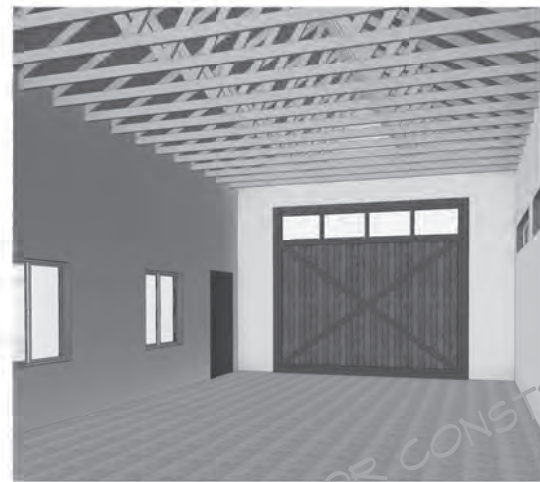
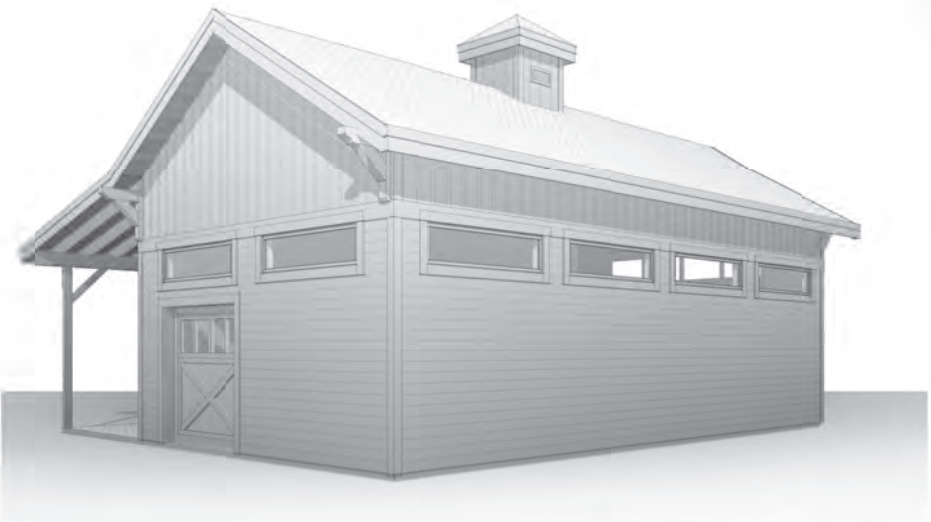
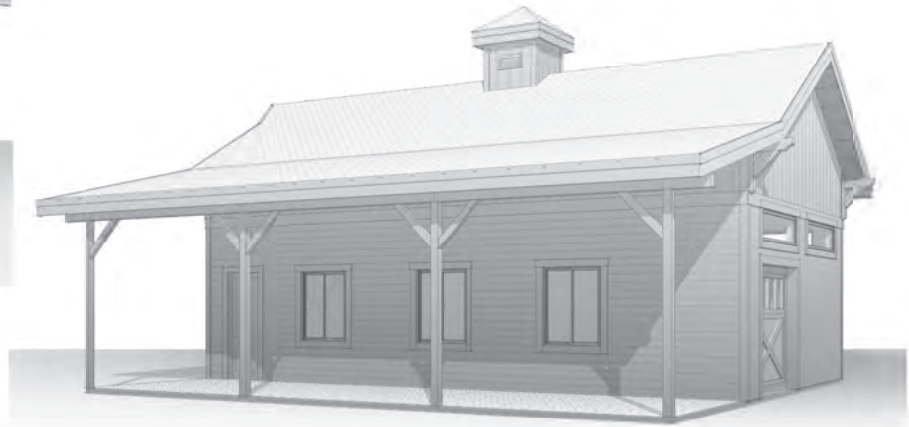
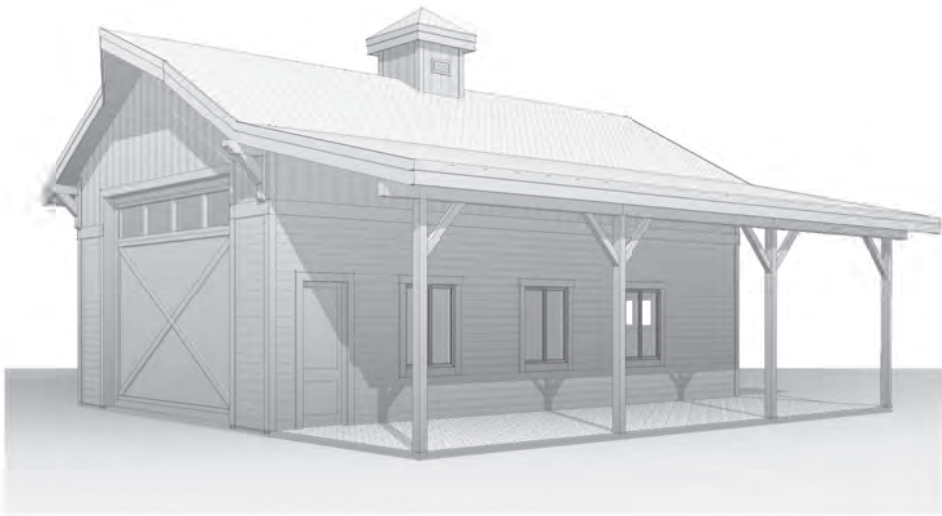


Kyle Brazell
 11 Pitman Rd
 Detailed Measurements / Square Footage

House 2214 Square Feet - 2 BR 2 Bath

Existing Buildings	Depth	Length	Height	Sq Feet	
Tool Shed	12	21	10	252	
Man Cave	12	20	10/16	240	
Anita Art Studio	11	24	13/19	264	
Total Outbuildings				756	
Proposed Garage	24	42		1008	
Existing Covered Storage					
East Tool Shed	12	10		120	
Shed Center	11	12		132	
Proposed Garage Car Port					
	12	42		504	
Total with Covered Sheds					2520
Cistern	18	8	5/7/11	144	
Cubic Feet	560				
Gallons	4,189				
Existing Roads Drive					
Pitman	16 Feet				
Garage Drive	17 feet - variable				
Camp Site	16 feet - variable				

DISCLAIMER:
 ALL 3D IMAGES ARE AN APPROXIMATE ONLY. ALL 3D IMAGES ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY. 3D DRAWINGS SHALL SUPERSEDE ALL ITEMS SHOWN ON 2D IMAGES. THIS SHEET IS PROVIDED AS A REPRESENTATION AND IS NOT FOR CONSTRUCTION.



NOT FOR CONSTRUCTION

11251 SE 292nd AVE



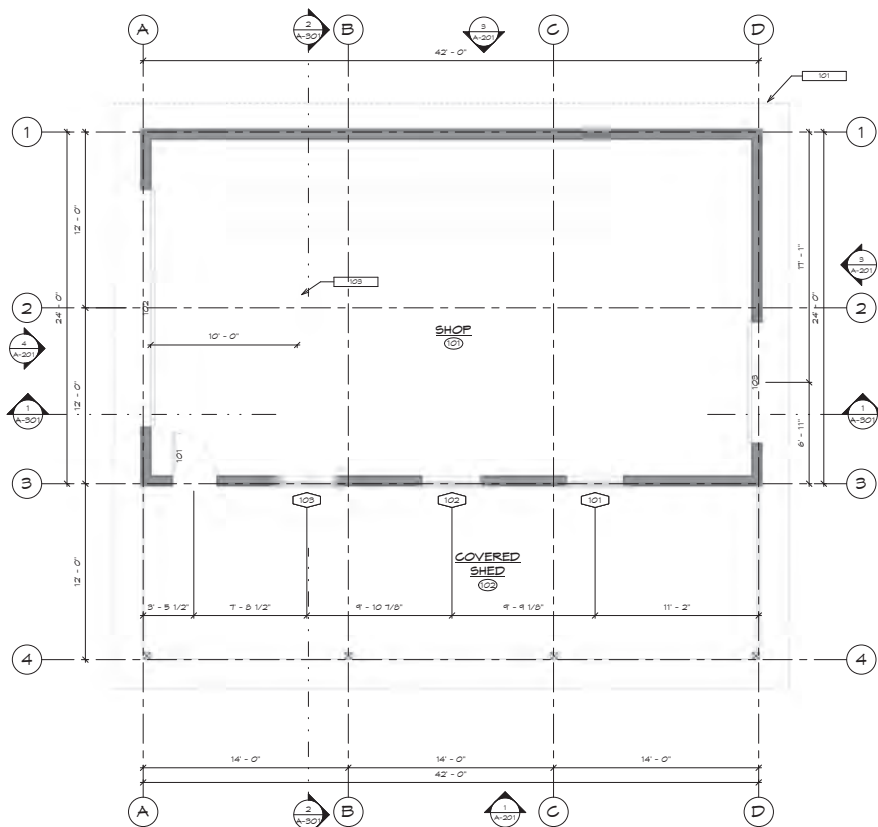
DAMASCUS, OR 97084

BRAZELL 'SELLWOOD'
 11 FITZMAN RD
 LYLE, WASHINGTON
 98065

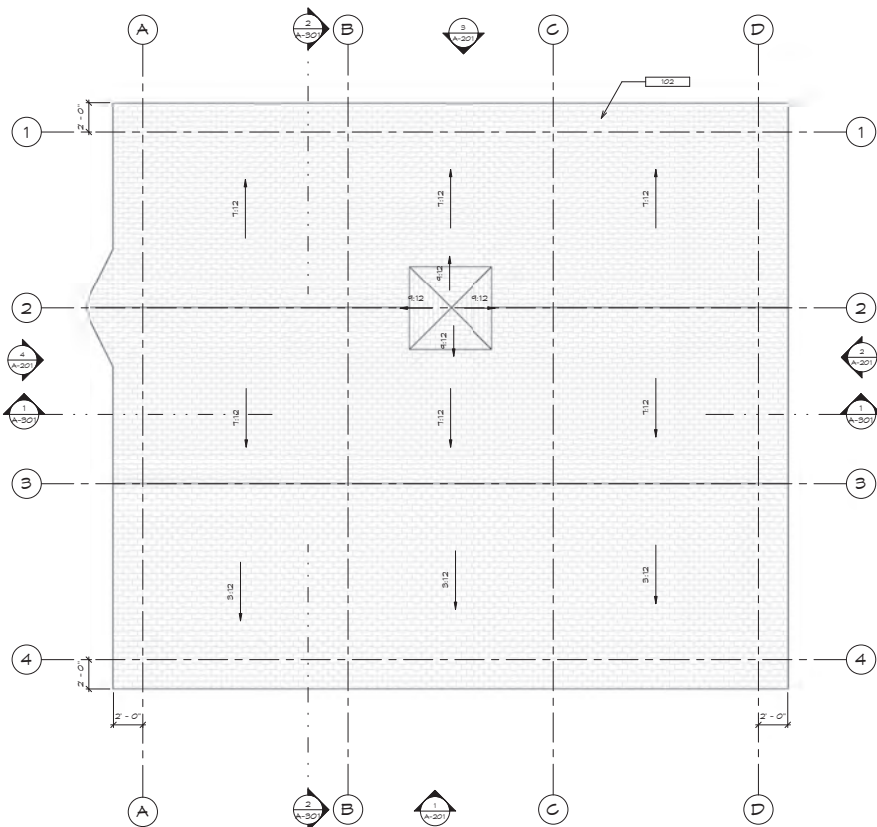
**3D
 EXTERIOR/INTERIOR
 VIEWS**

Drawn By	
ERT	
10/13/2022 10:49:38 AM	
Drawing Index	
No.	Description

A-002



1 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



2 ROOF PLAN
1/4" = 1'-0"

AREA - CONDITIONED SPACE	
NOTE: CONDITIONED SPACE MEASURED FROM EXTERIOR SURFACES OF EXTERIOR FRAMING + HEAD CLEARANCE ABOVE 48"	
COVERED SHED	504 SF
UNCONDITIONED	504 SF
MAIN LEVEL	1008 SF UNCONDITIONED
GRAND TOTAL	1512 SF

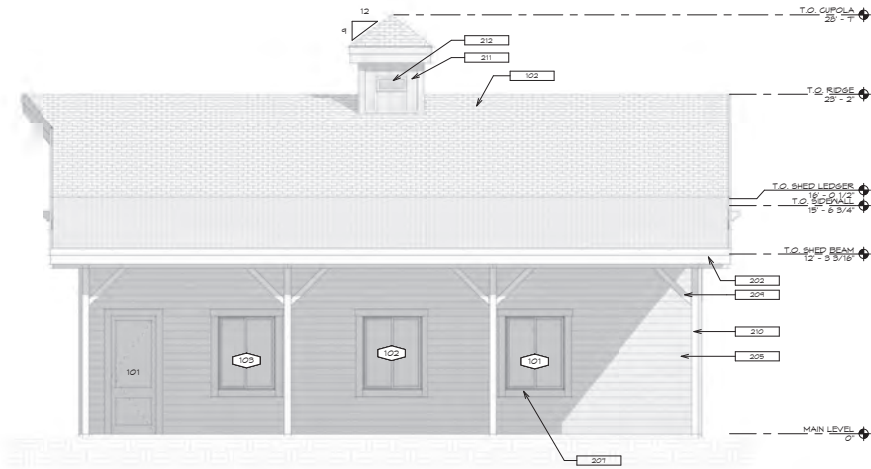
Room Schedule							
NOTE: ROOM AREA MEASURED FROM INTERIOR OF STUD WALL OR USABLE SPACE							
Number	Name	Area	Floor Finish	Wall Finish	Ceiling	Height	Comments
MAIN LEVEL							
101	SHOP	142 SF	CONCRETE				
102	COVERED SHED	504 SF					
		1481 SF					

KEYNOTES	
101	ROOF LINE ABOVE
102	R/O EARTHINGS CEDAR ASPHALT SHINGLES ROOFING MATERIAL 0.5"SYNTHETIC UNDERLAYMENT FIBR
103	FRENCH DRAIN, FIBR

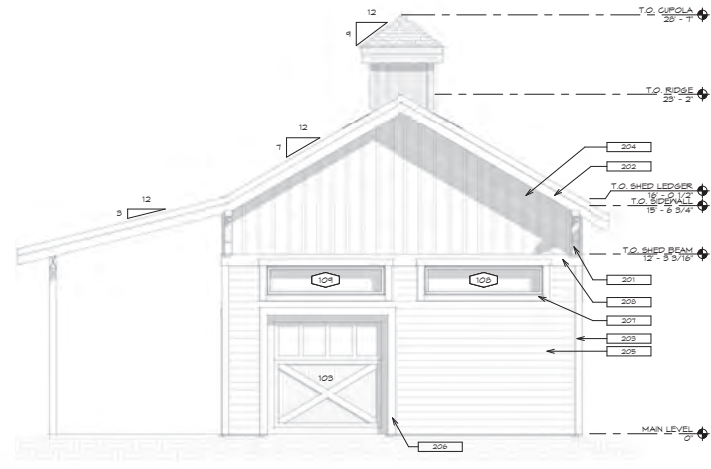
Door Schedule Main Level						
SEE SCHEDULES SHEET FOR DOOR TYPES AND COMPLETE SCHEDULE						
MARK	Type	WIDTH	HEIGHT	OPERATION	Provided By	Comments
MAIN LEVEL						
101	A	8'-0"	8'-0"	SWING	DGS	
102	B	14'-3"	14'-1 1/2"	OVERHEAD	OTHERS	
103	B	8'-3"	8'-1 1/2"	OVERHEAD	OTHERS	

Window Schedule Main Level							
SEE SCHEDULES SHEET FOR WINDOW TYPES AND COMPLETE SCHEDULE							
MARK	Type	Rough Opening height	head height (BTH of HDR)	Sill height (TOP of SILL)	OPERATION	Provided By	Comments
MAIN LEVEL							
101	F	4'-0"	8'-0"	8'-0"	SLIDER		
102	F	4'-0"	8'-0"	8'-0"	SLIDER		
103	F	4'-0"	8'-0"	8'-0"	SLIDER		
104	E	8'-0"	12'-0"	11'-6"	FIXED		
105	E	8'-0"	12'-0"	11'-6"	FIXED		
106	E	8'-0"	12'-0"	11'-6"	FIXED		
107	E	8'-0"	12'-0"	11'-6"	FIXED		
108	E	8'-0"	12'-0"	11'-6"	FIXED		
109	E	8'-0"	12'-0"	11'-6"	FIXED		
104	E	8'-0"	12'-0"	11'-6"	FIXED		

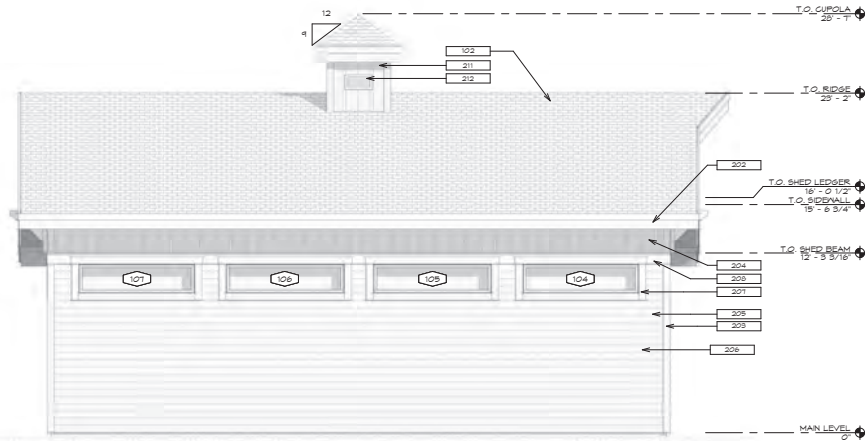
NOT FOR CONSTRUCTION



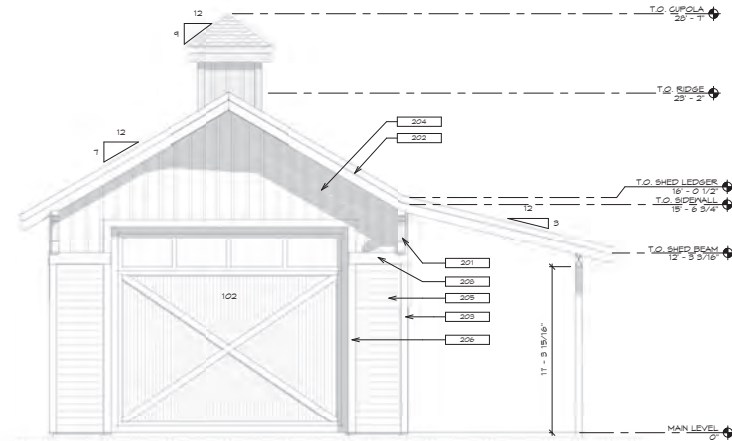
1 SOUTH ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



4 LEFT ELEVATION
1/4" = 1'-0"

KEYNOTES	
102	TRG EARTHTONE CEDAR ASPHALT SHINGLES ROOFING MATERIAL & SYNTHETIC UNDERLAYMENT PBD
201	5" HEAVY TRIMMER CORNELL PB DCS
202	3" STEEL ROASTED PALANUT FRAGA PB DCS
203	ROASTED PALANUT CORNER TRIM PB DCS
204	POCOPTONE MARW ESPRESSO BOARD & BATT SIDING & WRB PB DCS
205	POCOPTONE MARW ESPRESSO LAP SIDING & WRB PB DCS
206	ROASTED PALANUT DOOR TRIM PB DCS
207	ROASTED PALANUT WINDOW TRIM PB DCS
208	ROASTED PALANUT BELLY BAND PB DCS
209	HEAVY TRIMMER INS BRACE PB DCS
210	ENG PORT PB DCS
211	ENG NON-FUNCTIONAL CUPOLA PB DCS
212	VENT PB DCS

11251 SE 232nd AVE

 DAMASCUS, OR 97084

BRAZELL 'SELLWOOD'
 11 FITMAN RD
 LYLE, WASHINGTON
 98635

ELEVATIONS

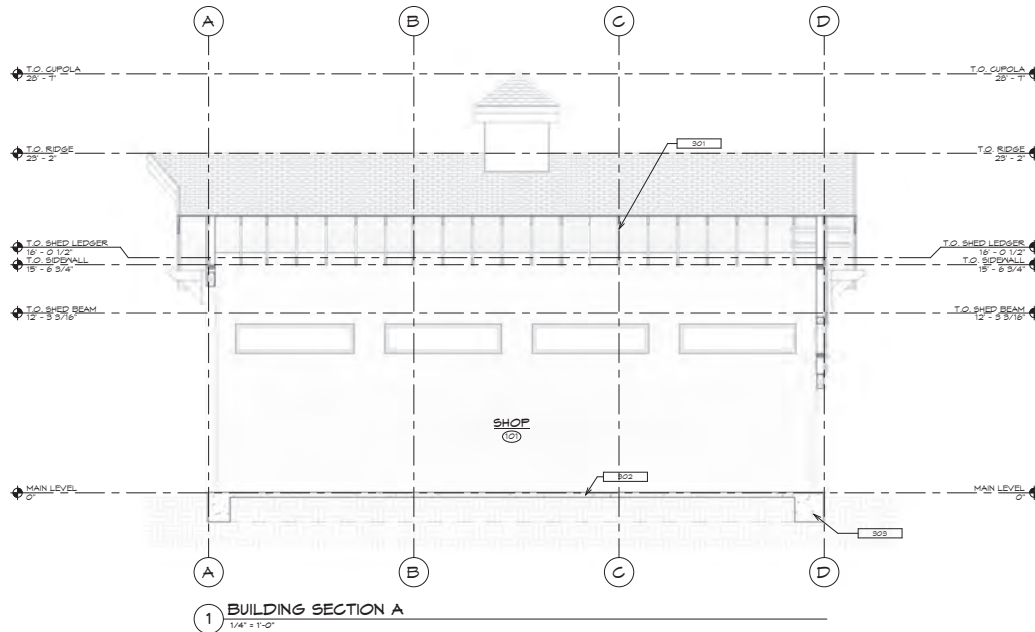
Drawn By
 TL
 10/13/2022 10:45:43 AM

Drawing Index
 Ref Date Description

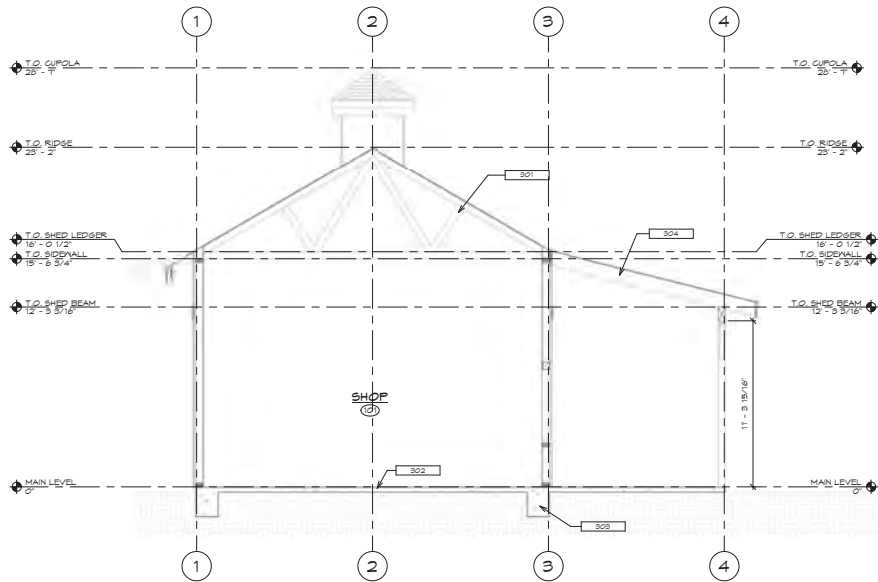
A-201

10/13/2022
 10:45:43 AM

NOT FOR CONSTRUCTION



1 BUILDING SECTION A
1/4" = 1'-0"



2 BUILDING SECTION B
1/4" = 1'-0"

KEYNOTES	
Key	Description
301	MANUFACTURED TRUSS PER STRUCTURAL
302	CONCRETE SLAB PER STRUCTURAL
303	CONCRETE FOUNDATION PER STRUCTURAL
304	2X12 RAFTERS PER STRUCTURAL

NOT FOR CONSTRUCTION

11251 SE 293rd AVE



DAMASCUS, OR 97084

BRAZELL 'SELLWOOD'
11 FITZMAN RD
LYLE, WASHINGTON
98635

SECTIONS

Drawn By
ERT
10/13/2022 10:45:45 AM

Drawing Index
Sheet Date Description

A-301

10/13/2022
10:45:45 AM





EXHIBIT 'A'

File No. 499402AM

PARCEL 1:

A tract of land in the Northwest quarter of Section 34, Township 3 North, Range 12 East, of the Willamette Meridian, in the County of Klickitat and State of Washington described as follows:

Beginning at a point in the true one-half section line 1,212 feet South of the quarter section corner between Sections 34 and 27, Township 3 North, Range 12 East, of the Willamette Meridian; thence West 726 feet; thence South 27° 13' East, 170 feet; thence South 38° 48 minutes East, 150 feet; thence South 41° 12' East 210 feet; thence South 40° 27' East, 125 feet; thence South 59° 14' East 185 feet; thence South 68° 14' East 185 feet; thence North 0° 44' West along true one-half section line 675 feet to the place of beginning.

PARCEL 2:

A tract of land in the Northwest quarter of Section 34, Township 3 North, Range 12 East, of the Willamette Meridian, in the County of Klickitat and State of Washington described as follows:

Beginning at the Northeast corner of the Northwest quarter of Section 34, Township 3 North, Range 12 East, of the Willamette Meridian; thence South 0° 44' East 1,212 feet; thence West 1,033 feet; thence Northerly along the County Road North 5° East 132 feet; thence North 18° 31' East 125 feet; thence North 2° 16' East 225 feet; thence North 33° 33' East 60 feet, more or less, to the Southwest corner of that certain tract of land more fully described in Book 70, Page 495, Klickitat County Deed Records; thence East 70 feet, more or less, to the Southeast corner thereof; thence North 0° 44' West 696 feet, along the East side thereof, to the North line of the Northeast quarter of the Northwest quarter of Section 34, Township 3 North, Range 12 East, of the Willamette Meridian; thence East along the Section line to the place of beginning.

EXCEPTING THEREFROM that portion conveyed to the State of Washington by deed recorded December 30, 1932, in Book 70, Page 449, Klickitat County Deed Records.