

Land Use Application

Applicant(s):

Property Owner(s):

Ronald and Sharol Rigglesman (SAME)

Mailing Address:

Mailing Address:

580 Oak Ridge Rd White Salmon, WA 98672

Phone: 509-637-0435

Phone:

Email: a.goodpear@hotmail.com

Email:

Location of property:

Township:

03 NORTH

Range:

10 EAST

Parcel address:

497 Hwy 141 White Salmon WA 98672

Section & Qtr. Section:

SWNWSW LESS R/W 11-3-10

County:

Klickitat

Tax Lot No(s):

03101100000800

Parcel Size (acres):

8.58

Existing use of parcel:

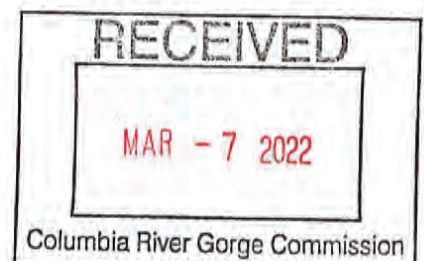
Home (being demolished) Replacement Dwelling

Orchard (will not effect Orchard land)

Use of adjacent parcels:

Project description: This should include all proposed activities and details on size, height, exterior colors, and construction materials of proposed structures. Any areas of ground disturbance and landscaping details should also be described. It is important to describe all aspects of your project so that you may gain approval for all of the development activities you plan to do.

Replacement Dwelling



Application checklist: The following is required to complete your application:

- Application form completed and signed
- Site plan
- Key viewing areas checklist, elevation drawings, and landscape details, if required
- Names and addresses of adjacent property owners, if required
- Any additional information as required

Signature of the property owner(s) indicates that the property owner(s) is/are aware that an application is being made on the subject property. **Signature of the property owner(s) also authorizes the Gorge Commission or the Commission's designee(s) reasonable access to the site in order to evaluate the application.**

Applicant(s) signature: *[Handwritten Signature]* date 2-14-2022

Shaw Giggelman date 2-14-2022

Property owner(s) signature: *[Handwritten Signature]* date 2-14-2022

Shaw Giggelman date 2-14-2022

If your project is listed below, you will also need to submit additional information. Contact a Gorge Commission planner for help in identifying the information required.

Projects in the General Management Area:

- Agricultural Buildings and Agricultural Labor Housing
- Projects within 1000 feet of sensitive wildlife and plant sites or water resources
- Single-family dwellings on lands designated Large or Small Woodland
- Single-family dwellings in conjunction with agricultural use
- Single-family dwellings not in conjunction with agricultural use (on Large-Scale Agriculture)
- Single-family dwelling for an Agricultural Operator's Relative
- Wineries or tasting rooms
- Temporary Hardship Dwelling
- Communications and Utility Facilities on lands visible from key viewing areas
- New livestock grazing; new fences, livestock watering facilities, and corrals; or soil, water, and vegetation conservation activities on lands designated Agriculture-Special
- Production and/or development of mineral resources and expansion of existing quarries
- Uses located in or providing recreational access to the Columbia River or its tributaries

Projects in the Special Management Area:

- Single-family dwellings on lands designated Forest, Agriculture or Public Recreation
- Agricultural Buildings and Agricultural Labor Housing
- Clearing trees for new agricultural use
- Any new use or development on lands designated Open Space

Projects Requiring Cultural Resources Reconnaissance Surveys and Historic Surveys for Large-Scale Uses:

- Residential development of two or more dwellings
- Recreation facilities
- Commercial or industrial development
- Public transportation facilities
- Electric facilities, lines, equipment, and appurtenances that are 33 kilovolts or greater
- Communication, water and sewer, and natural gas transmission lines, pipes, equipment, and appurtenances

Projects Requiring Sensitive Plant and Wildlife Surveys:

- Land divisions that create four or more parcels
- Recreation facilities that contain parking areas for 10 cars, overnight camping facilities, boat ramps, and visitor information and environmental education facilities
- Public transportation facilities that are outside improved rights-of-way
- Electric facilities, lines, equipment, and appurtenances that are 33 kilovolts or greater
- Communication, water and sewer, and natural gas transmission lines, pipes, equipment, and appurtenances (except minor projects as specified in Commission Rule 350-81)

Please contact the Columbia River Gorge Commission's office if you need assistance or have any questions. The Commission recommends scheduling a pre-application meeting to discuss your project with a planner before submitting your application for review. Please call 509-493-3323 or contact us via our website at www.gorgecommission.org.

Key Viewing Areas:

Key viewing areas are important public viewpoints and areas that afford opportunities to view the Gorge scenery. Key viewing areas are listed below.

Please check those sites which can be seen from your property:

- Historic Columbia River Highway
- Old Highway 8 (County Road 1230)
- Highway I-84
- Washington State Route 142
- Washington State Route 14
- Washington State Route 141
- Panorama Point Park
- Columbia River
- Rowena Plateau and Nature Conservancy Viewpoint
- Cook-Underwood Road

If your project would be visible from one or more key viewing areas, then you must submit elevation drawings and landscaping details.

Elevation drawings must show the sides of proposed buildings which would be visible from key viewing areas, including:

- the appearance of proposed buildings over 400 square feet in size*
- surrounding final grades*

Landscape details must show how your project will be screened from key viewing areas, including:

- location of plants used*
- number of plants*
- size of plants*
- type of plants*
- irrigation provisions or other measures to ensure the survival of landscaping planted for screening purposes*
- location of existing and proposed topographical features which would screen your project.*

Adjacent Property Owners:

If your project is included in one of the categories below, then you must submit names and address of adjacent property owners within a specified distance (200 feet or 500 feet) of the perimeter of your parcel. The following list specifies the distance within which property owners must be notified of your proposal. You only need to provide the names and address (along with the parcel number); the Commission will send the notice.

Your county Assessor's Office can assist you in obtaining this property owner information. You may use the back of this form to record the names and addresses or you may submit forms which the county may provide you.

Notification of landowners within 200 feet:

- Uses within Residential designation (except single-family dwellings located adjacent to Agriculture or Forest designations - see notification of landowners within 500 feet)
- Uses within Agriculture designation (except non-farm single-family dwellings in Large-Scale Agriculture designation - see notification of landowners within 500 feet)
- Uses within Forest designation (except utility facilities, railroads, home occupations, cottage industries, wineries, agriculture product processing and packaging, mineral resources, geothermal resources, aquaculture, boarding of horses, temporary asphalt/batch plants, expansion of non-profit camps-retreats-conference centers, bed and breakfasts, and non-profit learning/research facilities - see notification of landowners within 500 feet)
- Uses within Commercial designations
- Uses within Recreation designations
- Uses within Open Space designations
- Uses within Agriculture-Special designations
- Uses within Special Management Areas

Notification of landowners within 500 feet:

- Single-family dwellings within Residential designation located adjacent to Agriculture or Forest designations
- Non-farm single-family dwellings within Large-Scale Agriculture designation
- Utility facilities, railroad, home occupations, wineries, agriculture product processing and packaging, mineral resources, geothermal resources, aquaculture, boarding of horses, temporary asphalt/batch plants, expansion of nonprofit camps/retreats/conference centers, and bed and breakfasts, non-profit learning/research facilities within Forest designations

Adjacent property owners (continued):

Township, Range, Section,
Tax Lot Number

Name, Address, and E-mail (if possible)

03101100006700

Michel, Porfirio Baragas

P.O. Box 245 White Salmon, WA 98672

031011000061000

Alfredo Cortes

P.O. Box 493 Bingen, WA 98605

03101000061800

Riggleman Orchards (Ronald Riggleman

580 Oak Ridge Rd White Salmon, WA 98672

BPA R/W NO Parcel Number

Projects Requiring Grading Plans:

If your project meets one of the following, then you must submit a grading plan:

In the General Management Area:

- applications for structural development involving more than 100 total cubic yards of grading (material excavated and/or used as fill) with slopes of more than 10%;
- applications for structural development involving more than 200 total cubic yards of grading (material excavated and/or used as fill) where the building site is visible from one or more Key Viewing Areas

In the Special Management Area:

- applications for structural development involving more than 100 total cubic yards of grading (material excavated and/or used as fill) with slopes of more than 10% (except trails)

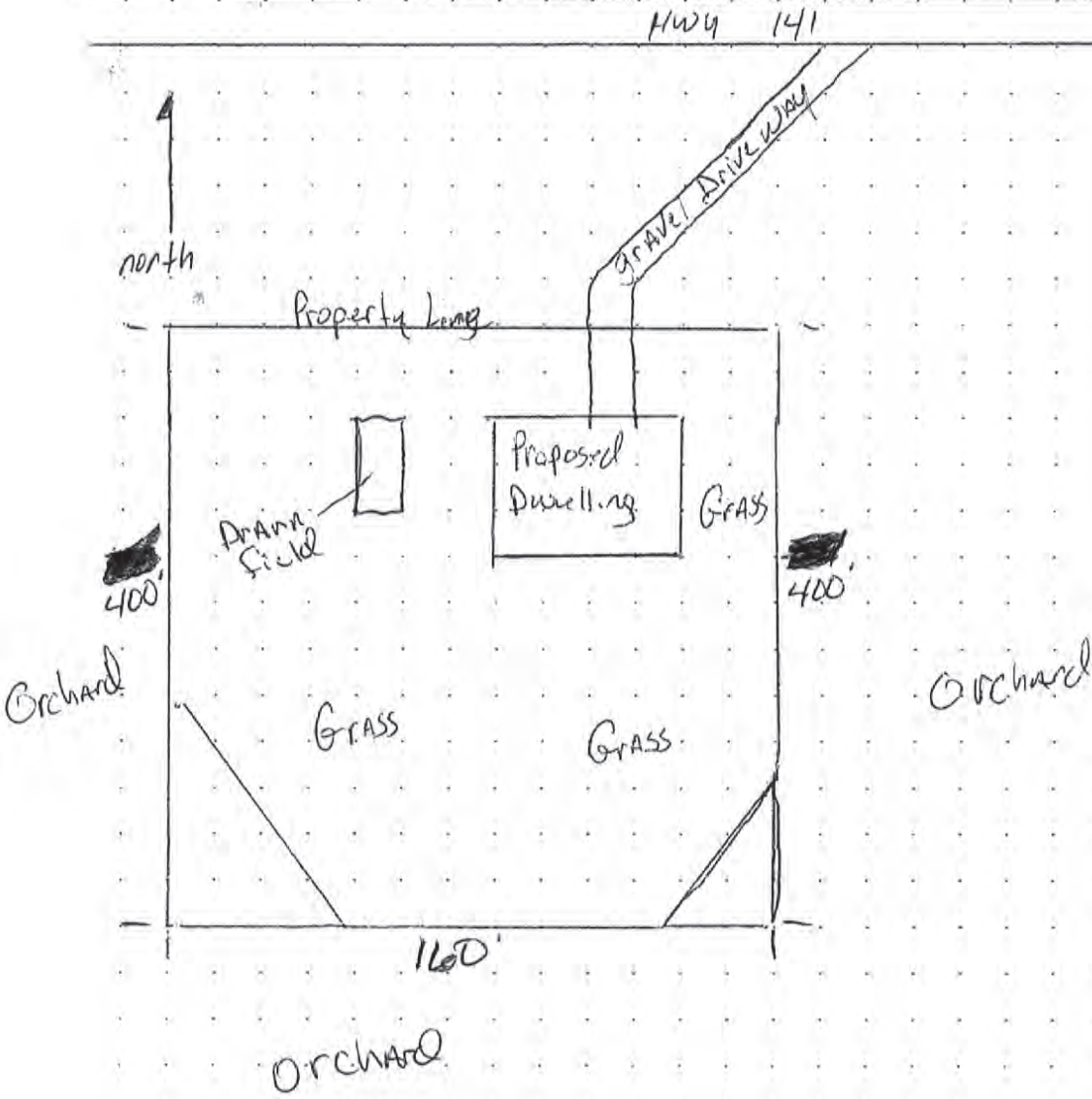
The grading plan must include the following:

- A map of the site prepared at a scale of 1 inch equals 200, feet (1:2,400) or at a scale providing greater detail, with contour intervals of at least every five feet including:
 - Existing and proposed final grades
 - Location of all areas to be graded, with cut banks and fill slopes delineated; and,
 - Estimated dimensions of graded areas.
- A narrative description of the proposed grading activity, including:
 - Its purpose
 - An estimate of the total volume of material to be moved
 - The height of all cut banks and fill slopes
 - Provisions to be used for compaction, drainage, and stabilization of graded areas (preparation of this information by a licensed engineer or geologist is recommended)
 - A description of all plant materials used to revegetate exposed slopes and banks, including types of species, number of, size and location of plants, and a description of irrigation provisions or other measures necessary to ensure the survival of plantings; and
 - A description of any interim or permanent erosion control measures to be utilized.

Please note: Structural development on slopes greater than 30% is prohibited.

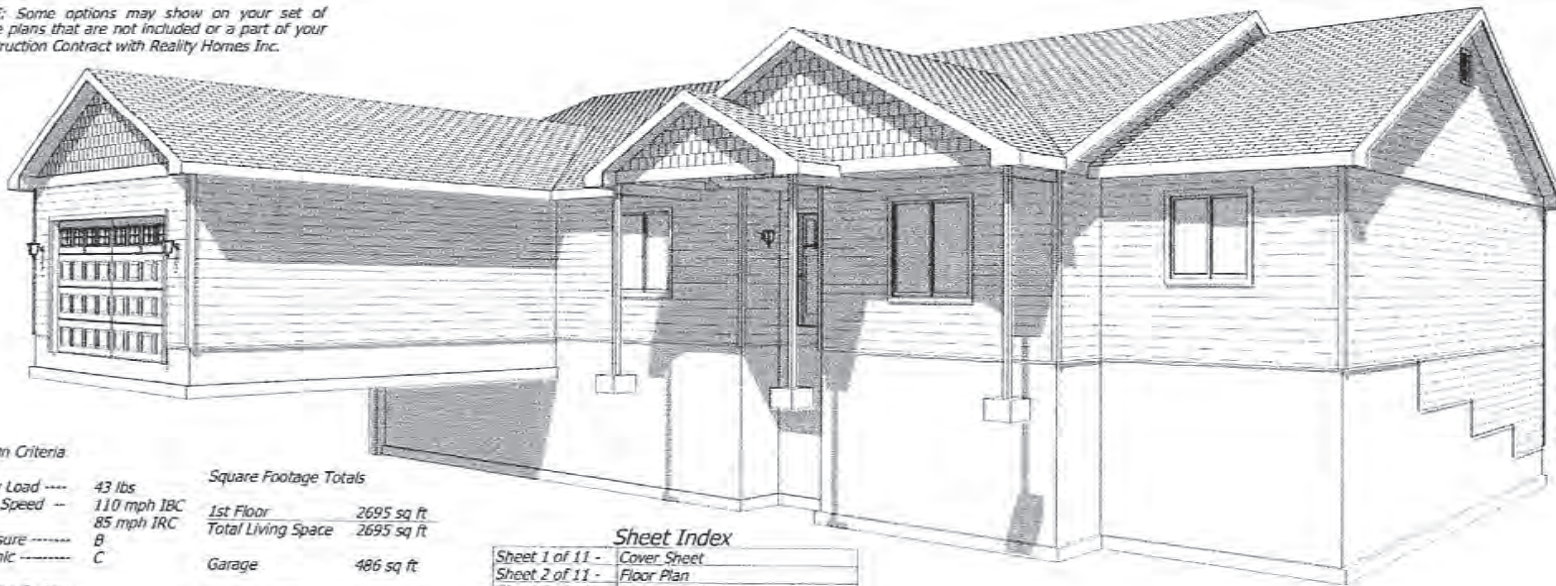
*Please use this template or attach a separate Grading Plan:

Grading Plan:



Each grid equals 50'x 50' at scale of 1" = 200'.

NOTE: Some options may show on your set of house plans that are not included or a part of your Construction Contract with Reality Homes Inc.



3D Rendering - NOT to Scale

Design Criteria

Snow Load ---- 43 lbs
 Wind Speed -- 110 mph IRC
 Exposure ----- B
 Seismic ----- C

Heating System
 Electric Furnace &
 Heat Pump

Appliance Fuel Source
 Stove Electric
 Dryer Electric
 Water Heater Electric

Square Footage Totals

1st Floor 2695 sq ft
 Total Living Space 2695 sq ft
 Garage 486 sq ft
 Unfinished Basement 2695 sq ft
 Front Porch Cover 151 sq ft
 Rear Porch Cover 142 sq ft

List of Codes

2018 International Residential Codes

House Designer - Reality Homes, Inc.
 2720 S J Street
 Tacoma, WA 98335
 253.926.6822
 Engineer of Record - Hodge Engineering
 3733 Rosedale Street
 Suite 200
 Gig Harbor, WA 98335
 253.857.7055



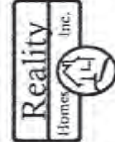
The Construction Site is Located within Klickitat County.

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2018 WASHINGTON STATE ENERGY CREDITS					
HEATING OPTION	FUEL NORMALIZATION DESCRIPTION	CREDITS	OPTION	DESCRIPTION	CREDITS
2	HEAT PUMP Equipment listed in 2015 IECC, Table C403.3.2(1) OR Table C403.3.2(2)	1.0	4.1	HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM OPTIONS: All supply and return ducts located in an unconditioned attic shall be deeply buried in ceiling insulation in accordance with Section R403.3.7.	0.5
OPTION	DESCRIPTION	CREDITS			
1.3	EFFICIENT BUILDING ENVELOPE: Prescriptive compliance is based on Table R402.1 with the following modifications: Vertical fenestration U=0.28 Floor R-39 Slab on grade R-10 perimeter and under entire slab Below grade slab R-10 perimeter and under entire slab or Compliance based on Section R402.1.4. Reduce the Total UA by 5%	0.5		For mechanical equipment located outside the conditioned space, a maximum of 10 linear feet of return duct and 5 linear feet of supply duct connections to the equipment may be outside the deeply buried insulation. All metallic ducts located outside the conditioned space must have both transverse and longitudinal joints sealed with mastic. If flex ducts are used, they cannot contain splices. Duct leakage shall be limited to 3 cfm per 100 square feet of conditioned floor area. Air handler(s) shall be located within the conditioned space.	
3.2	HIGH EFFICIENCY HVAC EQUIPMENT OPTION: Air-source centrally ducted heat pump with minimum HSEFF of 9.5	1.0			
2.1	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION OPTIONS: For R-2 Occupancies, optional compliance based on Section R402.4.1.2: Reduce the tested air leakage to 0.3 cfm/ft ² maximum at 50 Pascals AND All whole house ventilation requirements as determined by Section M1507.3 of the International Residential Code or Section 403.8 of the International Mechanical Code shall be met with a efficiency fan(s) (MAXIMUM 0.35 WATTS/GFM), not interlocked with the furnace fan (if present). Ventilation systems using a furnace including an ECM motor are allowed, provide that they are controlled to operate at low speed in ventilation only mode.	0.5	5.5	EFFICIENCY WATER HEATING OPTION: Water heating system shall include: Electric heat pump water heater meeting the standards for Tier III of NEEA's advanced water heating specifications.	2.0
			7.1	APPLIANCE PACKAGE OPTION: All of the following appliances shall be new and installed in the dwelling unit and shall meet the following standards: Dishwasher - Energy Star rated Refrigerator (if provided) - Energy Star rated Washing machine - Energy Star rated Dryer - Energy Star rated, ventless dryer with minimum CEF rating of 5.2	0.5

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7700 South Alameda Way, Ste 1000
 7717 17th Avenue, Ste 100
 Everett, WA 98201
 (425) 799-9999

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These plans were electronically stamped for
Kyle & Melissa Boydston
 497 WA 141
 White Salmon, WA 98672
 Parcel # - 5096370050

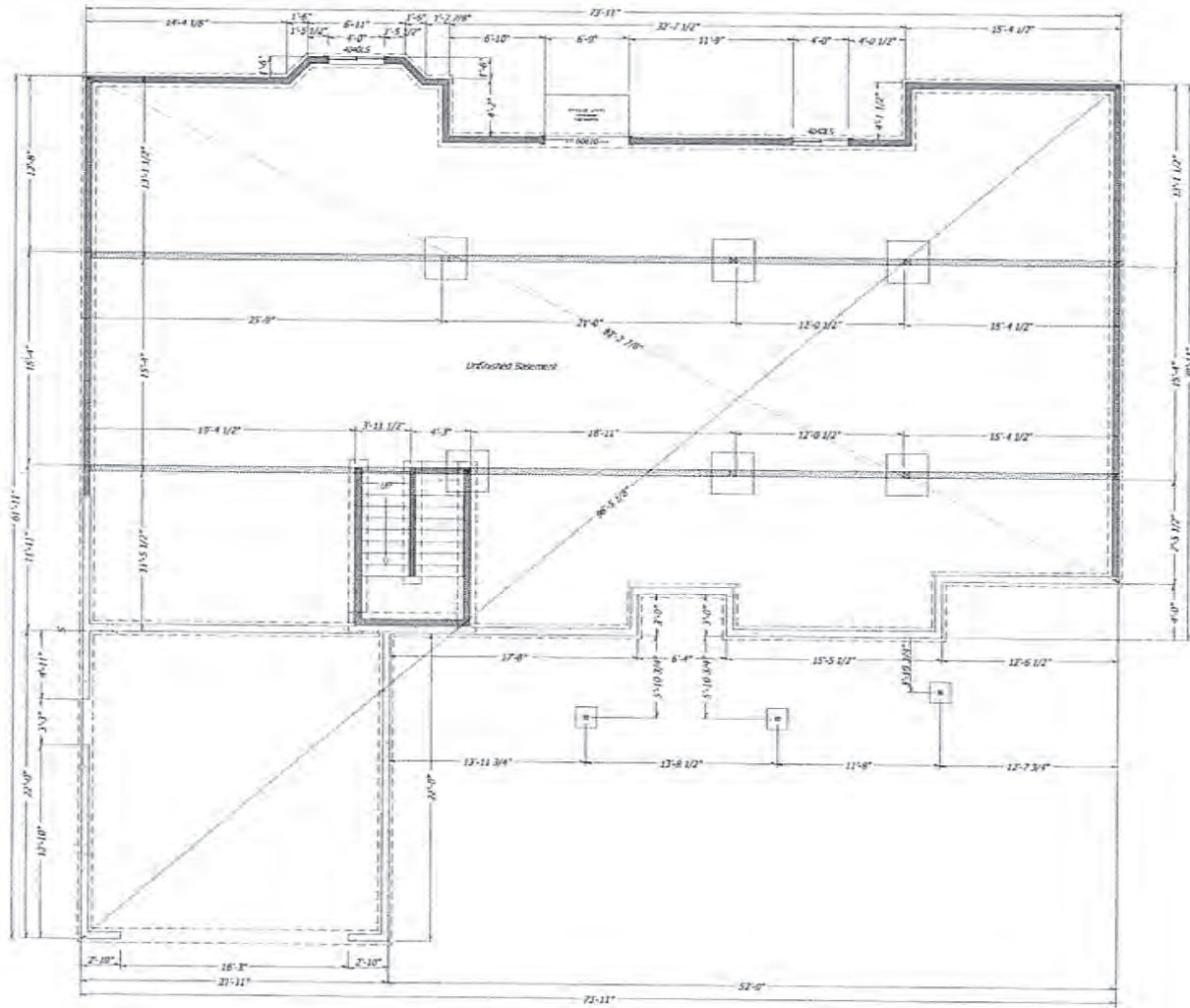
The client has agreed to pay for the cost of all necessary permits, including but not limited to, building, electrical, plumbing, and mechanical. The client is responsible for obtaining all necessary permits and for paying the associated fees. The client is also responsible for providing all necessary information and documents to the contractor in a timely manner. The contractor is not responsible for any delays or costs incurred by the client due to the client's failure to provide the necessary information and documents in a timely manner. The contractor is also not responsible for any delays or costs incurred by the client due to the client's failure to obtain the necessary permits in a timely manner. The contractor is also not responsible for any delays or costs incurred by the client due to the client's failure to provide the necessary information and documents in a timely manner. The contractor is also not responsible for any delays or costs incurred by the client due to the client's failure to obtain the necessary permits in a timely manner.

Sheet Description
Cover Sheet
 Plan Name
2760 Mill Creek

1 of 11

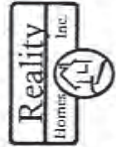
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Unfinished Daylight Basement Plan
Scale 1/4" = 1'

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2760 Mill Creek Drive, Suite 104, Everett, WA 98203
PH: 715.256.6093 FAX: 233.036.4111
COURTESY: JON NAYLOR
Project Number

These plans were exclusively designed for Kyle & Melissa Boydston. 497 WA 141 White Salmon, WA 98672 Parcel # - 5096370050

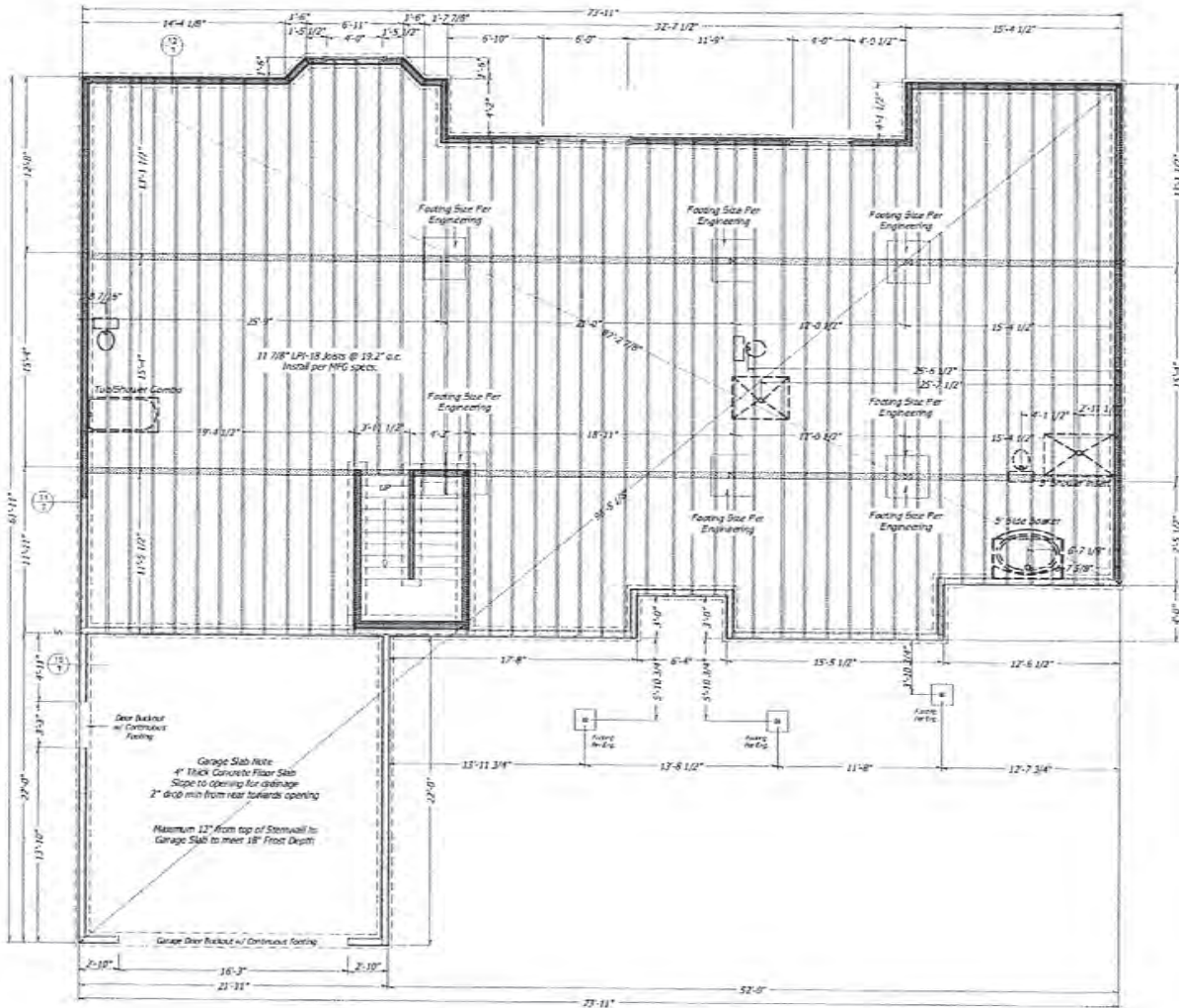
These plans were exclusively designed for Kyle & Melissa Boydston
497 WA 141
White Salmon, WA 98672
Parcel # - 5096370050

The client, Kyle & Melissa Boydston, has authorized Reality Homes Inc. to prepare these plans for the construction of the project. Reality Homes Inc. is not responsible for any errors or omissions in these plans. The client is responsible for obtaining all necessary permits and approvals from the local authorities. Reality Homes Inc. is not responsible for any construction delays or cost overruns. The client is responsible for providing all necessary information and materials for the construction of the project. Reality Homes Inc. is not responsible for any damage to the property or any other structures. The client is responsible for any and all costs associated with the construction of the project. Reality Homes Inc. is not responsible for any and all costs associated with the construction of the project.

Sheet Description
Plan Name
2760 Mill Creek
3 of 11

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Foundation Plan
Scale 1/4" = 1'

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497 White Mill Creek Road, White Salmon, WA 98672
 Phone: 509.635.8800 Fax: 509.635.8811
 Email: info@realityhomes.com
 Project Writer

These plans show only the minimum requirements for the foundation. The engineer is responsible for providing the footing and foundation details. The owner is responsible for providing the soil test results and the engineer is responsible for providing the footing and foundation details. The owner is responsible for providing the soil test results and the engineer is responsible for providing the footing and foundation details.

These plans were exclusively designed for
Kyle & Melissa Boydston
 497 WA 141
 White Salmon, WA 98672
 Parcel # - 5096370050

The Client/Owner/Builder/Contractor shall verify all setbacks, easements, utility lines, zoning laws, and other requirements. The owner is responsible for providing the soil test results and the engineer is responsible for providing the footing and foundation details. The owner is responsible for providing the soil test results and the engineer is responsible for providing the footing and foundation details. The owner is responsible for providing the soil test results and the engineer is responsible for providing the footing and foundation details.

Sheet Description
Foundation Plan
Plan Name
2760 Mill Creek
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2760 Mill Creek, WA 98072
 PH: 360.882.1111 | FX: 360.882.1112
 CH: 360.882.1113 | Email: info@realityhomes.com

These Plans, Specifications, and Schedules are subject to change without notice. The Buyer shall be responsible for obtaining all necessary permits and approvals. The Buyer shall be responsible for obtaining all necessary permits and approvals. The Buyer shall be responsible for obtaining all necessary permits and approvals.

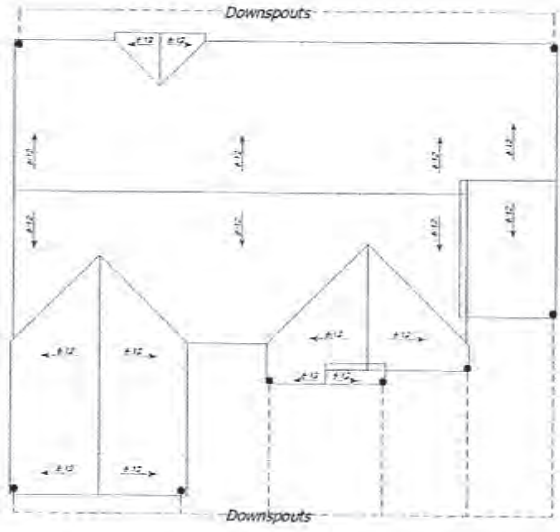
These plans were exclusively designed for
Kyle & Melissa Boydston
 497 WA 141
 White Salmon, WA 98672
 Parcel # - 5096370050

The Buyer, Seller, Architect, Engineer, Contractor, and other parties shall be bound by the terms and conditions of the contract. The Buyer shall be responsible for obtaining all necessary permits and approvals. The Buyer shall be responsible for obtaining all necessary permits and approvals. The Buyer shall be responsible for obtaining all necessary permits and approvals.

Sheet Description
Roofing Plan
 Plan Name
 2760 Mill Creek

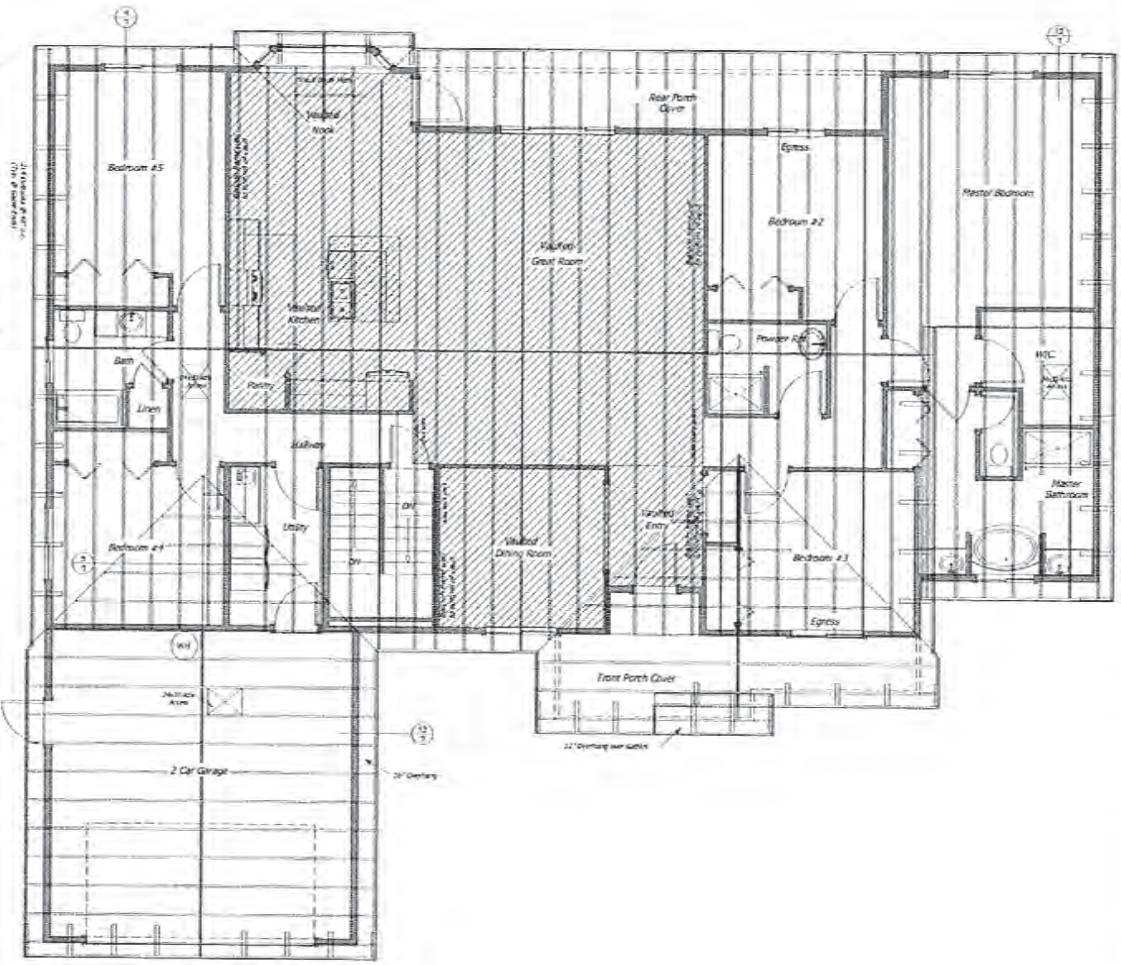
5 of 11

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Roof Drainage Plan
 Scale 1/8" = 1'

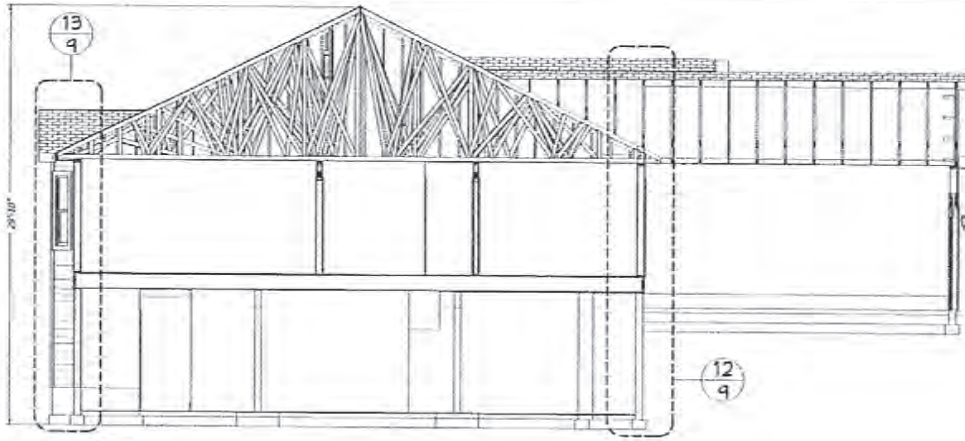
Roof Venting Calculations
 Attic Ventilation shall be in accordance to Section R906. Exception applied due to use of continuous Ridge Vent ("Gore-Vent") ventilating upper portion. Exception rate of ventilation per sq. ft. = 1/300, or 1 s.f. of ventilation per 300 s.f. of Attic Space. Lower portion of roof is vented with continuous soffit vent and underside of enclosed soffit.
 3539 sq. Ft./200 = 17.69 sq. Ft. Net Free Ventilation Required
 11.50 sq. Ft. x 144 = 1656 sq. Ft. In Net Free Ventilation Required
 1700/2 = 850 sq. In. of Net Free Ventilation Required in upper 1/3 of roof, & 850 sq. In. of NPVA possible = therefore ok.
 Continuous Ridge Vent: Cor. = Vent V-300 Continuous ridge Vent providing 13.9 sq. In. NPVA per Linear Ft.
 Ridge = 130 Lin. Ft. x 13.9 = 1807 Sq. In. NPVA possible = Therefore OK
 Continuous Soffit Vent: Cor. = Vent PS-400 Continuous soffit Vent Providing 10 sq. In. NPVA per linear ft.
 Enclosed Soffit Eave = 124 Linear Ft. x 10 sq. Ft. In. Per Ft. = 1240 sq. In. NPVA possible = Therefore OK.



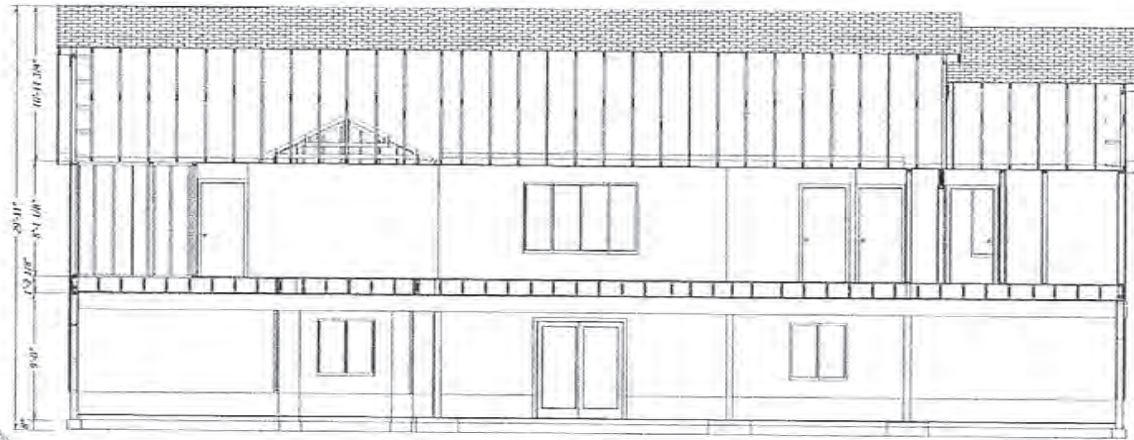
Vaulted Area

Roof Framing Plan
 Scale 1/4" = 1'

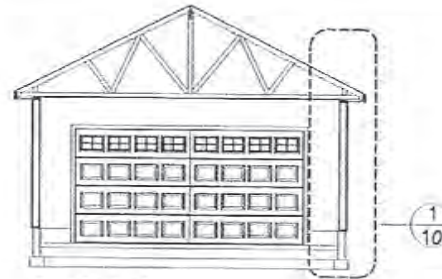
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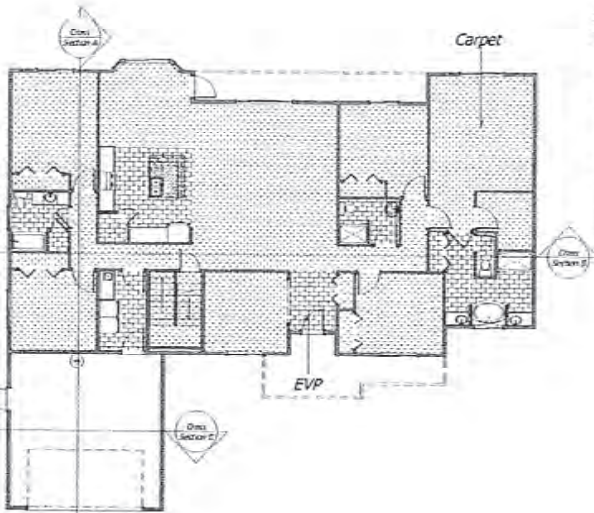
Cross Section A
Scale 1/4" = 1'



Cross Section B
Scale 1/4" = 1'



Cross Section C
Scale 1/4" = 1'



Floor Covering & Cross Section Locator
No Scale

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17791 Royal Street, Everett, WA 98203
 (425) 255-6200 Fax: (253) 406-9333
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These plans represent a preliminary design for Kyle & Melissa Boydston. The design is subject to change without notice. The design is not to be used for construction without the approval of the architect. The design is not to be used for any other purpose without the approval of the architect.

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 497 WA 141
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Sheet Description
Cross Sections
Plan Name
2760 Mill Creek
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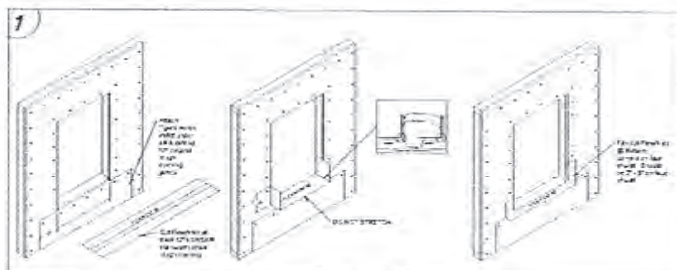
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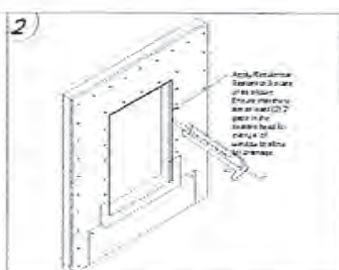
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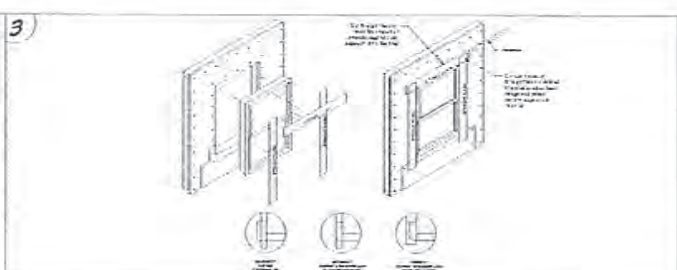
2700 South Liberty Avenue, 193 06497
 770 - 436-1888
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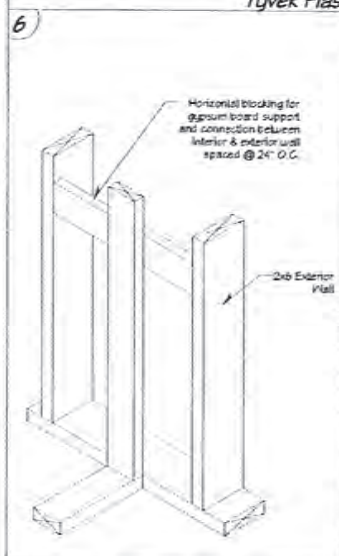
Tyvek Flashing Step 1



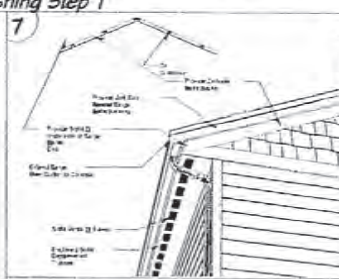
Tyvek Flashing Step 2



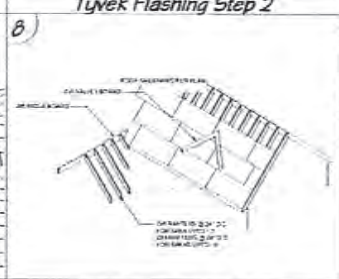
Tyvek Flashing Step 3



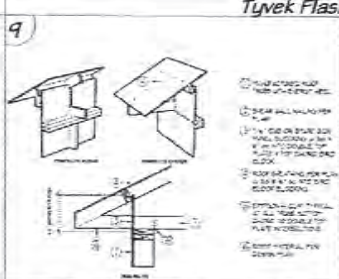
Ladder Framing Wall Detail



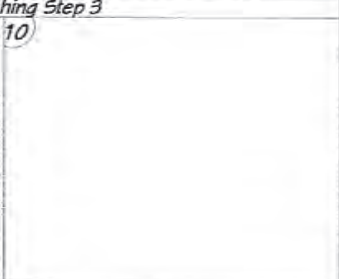
Roof Overhang Soffit Standards



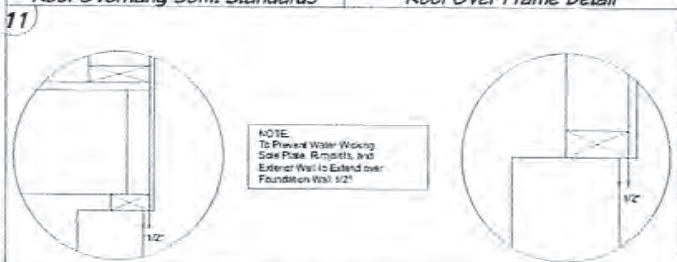
Roof Over Frame Detail



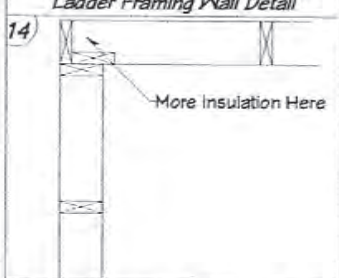
Raised Heel To Shear Wall



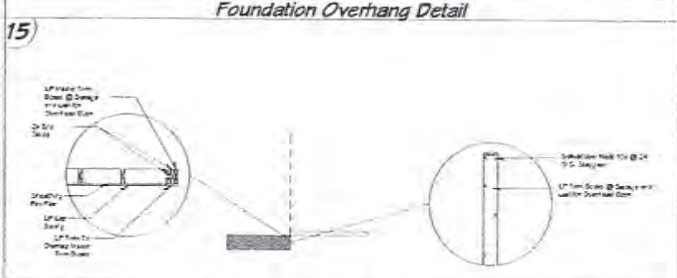
Single Story Concrete Basement Wall



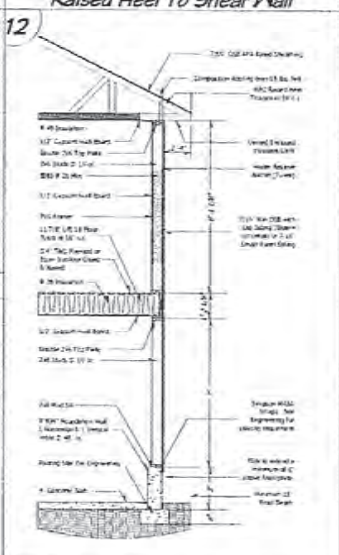
Foundation Overhang Detail



California Corner Wall Framing Detail



LP Trim @ Garage Overhead Door



Single Story Framed Basement Wall

These plans were exclusively designed for
Kyle & Melissa Boydston
 497 WA 141
 White Salmon, WA 98672
 Parcel # - 5096370050

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Sheet Description:
Details
 Plan Name:
2760 Mill Creek

9 of 11

This Set of Plans is licensed for one time use and must be built only by Reality Homes Inc.

NOTE: Some options may show on your set of house plans that are not included or a part of your Construction Contract with Realty Homes Inc.

Foundation Notes - One Story

See Building Sections and Details Sheet within this set for Details and Calculus for Foundation and Wall to Foundation Connectivity.

Two Story Perimeter Foundation that will support a Two Framed Shed Wall shall consist of a 12"x8" Min. Continuous Concrete Footing Per Engineering.

Garage Foundations that will support a Two Story Two Framed Shed Wall shall consist of a 12"x8" Min. Continuous Concrete Footing Per Engineering.

Foundation Slab Walls for a Two Story Bearing Inlets shall consist of a 22" x 24" Tall x 6" Wide Stem Wall Per Engineering.

Please See Engineering "L" Pages for Hold-down Locations. If Foundation needs to be a Stepped Foundation, See "Step Footing" on Engineering Sheet 01.

Foundation Contractor to verify vent placement is done to IRC code. To ensure plumbing access for Rakers, see drain dimensions on foundation. See Floor Joists MFG Layout for Start Location.

Framing Notes

Roof Trusses shall be Pre-Engineered/Pre-Manufactured Wood Trusses spaced at 24" o.c. Flat ceiling trusses over entire area with the exception of SMOKE TRUSS over Specified areas. Note Line of soffit on Floor Plan.

All Trusses shall be installed and braced according to the Manufacturer's instructions. Design calculations shall be kept with the Building Plans and shall be made readily available to the Building Inspector at the time of inspection. All Permit documents shall be kept in a waterproof enclosure for the duration of the project.

Outlooks shall be 2x4 spaced at 48" o.c. @ each Gable End.

Roof Sheathing Nailing shall be at bd @ 6" o.c. Panel Edges and 12" o.c. @ Intermediates.

Wall Sheathing Nailing shall be at bd @ 6" o.c. Panel Edges and 12" o.c. @ Intermediates, U.N.O. (See Panel Details for additional information).

All Exterior Wall Headers shall be a 4x12 of 2 sheets of R-5 Rigid Insulation (install on inside of header. In the case that a 6x header is required, insulation of header is not required).

All Exterior Wall Headers shall be a 4x8 DFR2 U.N.O.

All Blocking @ Roof Trusses exposed to the exterior shall be screened "Bird Block".

Roof Venting Requirements

Attic Ventilation shall be in accordance to Section R306. Exception applied due to use of continuous Ridge Vent ("Core Vent") ventilating upper portion. Exception rate of ventilation per sq ft = 1/1000, or 1 sq ft of ventilation per 500 sq ft of Attic Space. Lower portion of roof is vented with bird blocks installed between every truss.

Roofing Notes

Use Composition Asphalt Shingles per Building Package Specification. Maintain a distance of 12" Min. from any Ridge or Valley. Use 2 Layers of Felt on roofs with less than 4/12 roof pitch. Use "Core-Vent" Roof Vent or equal at entire Ridge Area. Use Aluminum Gutters or equivalent.

Truss Notes

Pre-Engineered / Pre-Manufactured Roof Trusses (Pitch Specified on Page 4 - if vaulted truss, inside vault is half pitch size U.N.O.) @ 24" o.c. Use "Bird Blocks" between each Truss @ Plate Line. Fitted Outlooks over Gable Ends @ 48" o.c.

Garage Notes

Garage walls, columns, and ceilings adjacent to or under dwelling areas shall have materials approved for One-Hour fire resistive construction.

Air ducts passing through one-hour fire resistive construction shall be a minimum of 26-gauge steel.

All electrical switch plates and box covers in the garage shall be metal and lights with boxes behind them shall not be plastic.

All piping passing through one-hour fire resistive construction shall be metal.

All ducts and/or piping supported by structural members that are required to be fire protected shall be installed after the protection has been applied. Ducts and/or piping may be enclosed within a scuff that has the same degree of fire protection required for the structural members that it attaches to. Framing members for the scuff shall not exceed 16" on center.

Water heater shall have a relief valve drain line to the outside of the building. Per P2509.6.1 (10) of the 2015 IRC, the discharge not terminate more than 6 in above the floor or waste receptor.

General Notes

All construction to conform to the 2015 International Residential Code.

CONCRETE: Compressive strength for basement and foundation walls exposed to weather as well as porches, carpet slabs and steps shall be a min 3,000 p.s.i. at 28 days. Concrete shall be air entrained at between 5 & 7%.

REINFORCING STEEL: All steel #4 or smaller shall be A-515, grade 40, unless installed in a reinforced concrete foundation, otherwise grade 60.

SMOKE ALARMS: Shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. Required alarms shall receive their primary power from the building wiring and shall be equipped with battery backup. Alarms shall be interconnected to provide audibility in all areas.

MFG. INSTALLATION: R108.1.2 Manufacturer's installation instructions. Manufacturer's installation instructions, as required by its code, shall be available on the job site at the time of inspection.

FASTENER NOTES: As a minimum, any fastener in contact with pressure treated wood must be Hot Dip galvanized (ASTM A123 for connectors and ASTM 153 for fasteners and anchors).

SANITARY SEWER: To Provide Adequate Drainage the Sewer Connection will exit the home UNDER the Footing. DO NOT EXCAVATE THE SITE TO DEEP.

WHOLE HOUSE VENTILATION: Ventilation shall consist of source specific intermittent operating fans with a minimum 50 cfm rating in bedrooms and utility and a minimum 100 cfm in the kitchen. Utility room fan to be controlled by a timer. Windows in habitable rooms to include integral fresh air intake vents.

DRYER VENTING: Dryer to be vented to outside. Maximum length not to exceed 25 feet less 5' for each 90-degree bend. Per IRC 1502.

Whole-House Ventilation Using Exhaust Fans M1501.3.4

This section establishes minimum prescriptive requirements for whole-house ventilation systems using exhaust fans. A system which meets all the requirements of this section shall be deemed to satisfy the requirements for a whole-house ventilation system.

M1501.3.4.1 Whole-house ventilation fans. Exhaust fans providing whole-house ventilation shall have a flow rating at 0.25 inches water gauge as specified in Table M1501.3.4(1) (See Sheet 2) Manufacturers fan flow ratings shall be determined according to FV1 915 or AMCA 210.

M1501.3.4.2 Fan noise. Whole-house fans located 4 feet or less from the interior grille shall have a noise rating of 1.0 or less measured at 0.1 inches water gauge. Manufacturer's noise ratings shall be determined as per FV1 915 (March 2004). Remotely mounted fans shall be acoustically isolated from the structural elements of the building and from attached duct work using insulated flexible duct or other approved material.

M1501.3.4.3 Fan controls. The whole-house ventilation fan shall meet the requirements of Section M1501.3.2 and M1501.3.2.1.

M1501.3.4.4 Outdoor air inlets. Outdoor air shall be distributed to each habitable space by individual outdoor air inlets. Where outdoor air supplies are separated from exhaust points by doors, provisions shall be made to ensure air flow by installation of distribution ducts, undercutting doors, installation of grilles, transoms, or similar means. Doors shall be undercut to a minimum of 1/2 inch above the surface of the finish floor covering.

Individual from outdoor air inlets shall:

1. Have combustible and secure openings.
2. Be slanted or otherwise designed so as not to compromise the thermal properties of the wall or window in which they are placed.
3. Provide not less than 4 square inches of net free area of opening for each habitable space. Any inlet or combination of inlets which provide 10 dm² at 10 Pascals are deemed equivalent to 4 square inches net free area.

Inlets shall be screened or otherwise protected from entry by leaves or other material. Outdoor air inlets shall be located so as not to take air from the following areas:

1. Closer than 10 feet from an appliance vent outlet, unless such vent outlet is 3 feet above the outdoor air inlet.
2. Where it will pick up objectionable odors, fumes or flammable vapors.
3. A hazardous or unsanitary location.
4. A room or space having any fuel-burning appliances therein.
5. Closer than 10 feet from a vent opening of a plumbing drainage system unless the vent opening is at least 3 feet above the air inlet.
6. AISC, truck spaces, or garages.

Whole House Ventilation Controls & Operation M1501.3.2

M1501.3.2 Control and operation

1. Location of controls. Controls for all ventilation systems shall be readily accessible by the occupant.
2. Instructions. Operating instructions for whole-house ventilation systems shall be provided to the occupant by the installer of the system.
3. Local exhaust systems. Local exhaust systems shall be controlled by manual switches, dehumidistats, timers, or other approved means.
4. Continuous whole-house ventilation systems. Continuous whole-house ventilation systems shall operate continuously. Exhaust fans, forced air system fans, or supply fans shall be equipped with "fan on" or override controls. Controls shall be capable of operating the ventilation system without energizing other energy-consuming appliances. A label shall be affixed to the controls that reads "Whole House Ventilation (see operating instructions)."
5. Intermittent whole-house ventilation systems. Intermittent whole-house ventilation systems shall comply with the following:
 - 5.1 They shall be capable of operating intermittently and continuously.
 - 5.2 They shall have controls capable of operating the exhaust fans, forced-air system fans, or supply fans without energizing other energy-consuming appliances.
 - 5.3 The ventilation rate shall be adjusted according to the exception in Section 403.5.1.
 - 5.4 The system shall be designed so that it can operate automatically based on the type of control timer installed.
 - 5.5 The intermittent mechanical ventilation system shall operate at least one hour out of every four.
 - 5.6 The system shall have a manual control and automatic control, such as a 24-hour clock timer.
 - 5.7 At the time of final inspection, the automatic control shall be set to operate the whole-house fan according to the schedule used to calculate the whole-house fan sizing.

Exterior Finish Notes

All Building Faces - Horizontal "Eman Slide" by L.P. Sarge. 5/4 x 8 Pre-primed "White Wood".
 Corner Boards - 1" x 4" Pre-primed "White Wood".
 Window Trim - 1" x 4" Pre-primed "White Wood".
 Windows - White Vinyl Thermopane, 1/2" lead per pane.
 Gutters & Downspouts - Continuous Metal.
 Gable Vents - Pre-manufactured 12" x 16" Wood.

Kitchen Base Cabinets are standard 36" tall and 24" deep.
 Kitchen Wall Cabinets are standard 30" tall and 12" deep.
 Kitchen Bath Cabinets above appliances are 14" tall and 12" deep.
 Guest Bath Cabinets are standard 30" tall and 21" deep.
 Master Bath Cabinets are standard 36" tall and 12" deep.

Standard Appliance Openings * Dishwasher - 24" W x 36" H x 24" D
 Washer / Dryer - 30" W x 30" D
 Range - 30" W x 36" H x 30" D
 Fridge - 36" W x 10" H

IMPORTANT - If you have different sized than the standard openings please contact us so we can make a note of it in your file.

1. Panasonic Whisper Green Whole House Fan Shall be set per Table Below

Table M1501.3.4(1)
 Continuous Whole-House Mechanical Ventilation System AirFlow Rate Requirements

Dwelling Unit Floor Area (Square Feet)	Number of Bedrooms			
	0-1	2-3	4-5	6-7
	Airflow in CFM			
< 1500	30	45	60	75
1501 - 3000	45	60	75	90
3001 - 4500	60	75	90	105
4501 - 6000	75	90	105	120
6001 - 7500	90	105	120	135
> 7500	105	120	135	150

R0 Framing on Door Units for 1-3/8" Clearance

Exterior Doors		
Door Type	R0 Width	R0 Height
Exterior	Door width - 2"	82" - 1/2"
Exterior 15L	Door width + 5/8" + 4"	82" - 1/2"
Exterior 25L	5L + Door width + 5L + 5-1/2"	82" - 1/2"
Exterior Double	2 x door width + 3"	82" - 1/2"
Interior Doors		
Door Type	R0 Width	R0 Height
Interior	Door width - 2"	Height + 2-1/2"
Interior Double	2x door width + 3"	Height + 2-1/2"
Blinds	Door ceiling Rise + 1-1/8"	82"
Blindless	2x door width	82"
Fire Door		
Door Type	R0 Width	R0 Height
Fire Door	Door width + 2"	82"

Note: Heights are from subfloor to rough header with all jacks @ 54". Exterior Doors are for fiberglass and metal. Solid height only. Closet openings w/ 1/2" stool on 3 sides.



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The client, Kyle & Melissa Boydston, intend to build the project shown on these plans. The client warrants that the information provided on these plans is true and correct to the best of their knowledge and belief. The client warrants that they have the right to build the project shown on these plans. The client warrants that they have the right to build the project shown on these plans. The client warrants that they have the right to build the project shown on these plans.

Sheet Description
 Notes
 Plan Name:
 2760 Mid Creek

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