

**Land Use Application**

Applicant(s): \_\_\_\_\_ Property Owner(s): \_\_\_\_\_

Charles + Lana Moore

Mailing Address: \_\_\_\_\_ Mailing Address: \_\_\_\_\_

490 Hwy 141 PO Box 2578 White Salmon WA 98672

Phone: 541-993-1559 Phone: \_\_\_\_\_

Email: ChuckLM69@gmail.com Email: \_\_\_\_\_

**Location of property:**

Township: 2 Range: 4 Parcel address: \_\_\_\_\_

Section & Qtr. Section: 4 County: Klickitat

Tax Lot No(s): 03-10-1100-0024/00 Parcel Size (acres): 56.46

Existing use of parcel: Our home

is also on this parcel

Use of adjacent parcels: none yet

**Project description:** This should include all proposed activities and details on size, height, exterior colors, and construction materials of proposed structures. Any areas of ground disturbance and landscaping details should also be described. It is important to describe all aspects of your project so that you may gain approval for all of the development activities you plan to do.

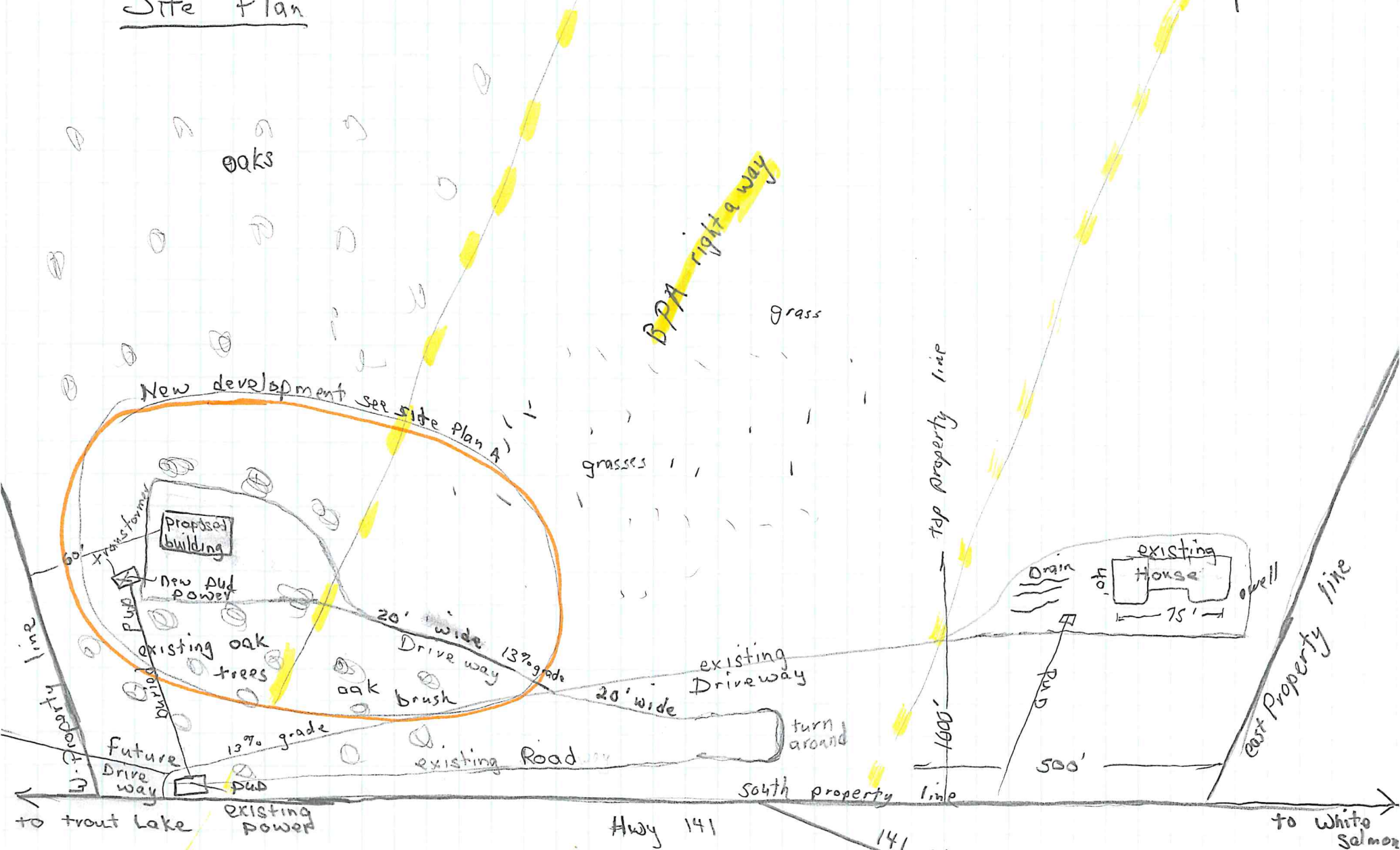


# Site Plan

56.46 acres  
Parcel No. 03101100002400

North property line  
800'

North



oaks

BPA right a way

grass

grasses

New development see site plan A

Proposed building

New sub power

existing oak trees

20' wide Drive way

13% grade

oak brush

existing Driveway

20' wide

existing Road

turn around

existing House

Drain

75'

500'

to trout Lake

Hwy 141

141 alt.

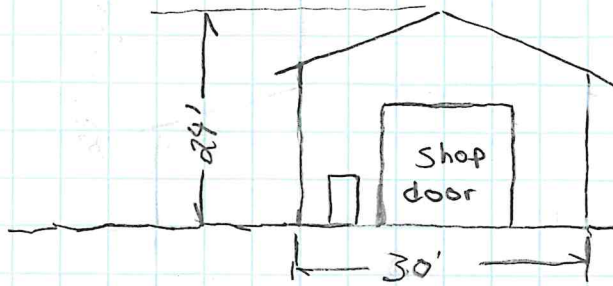
to White Salmon

Scale 2" = 100'

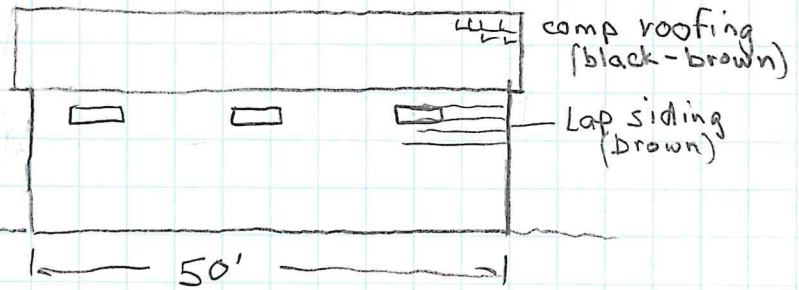
# Proposed building Elevation Plan

## proposed building elevation

E. Front view

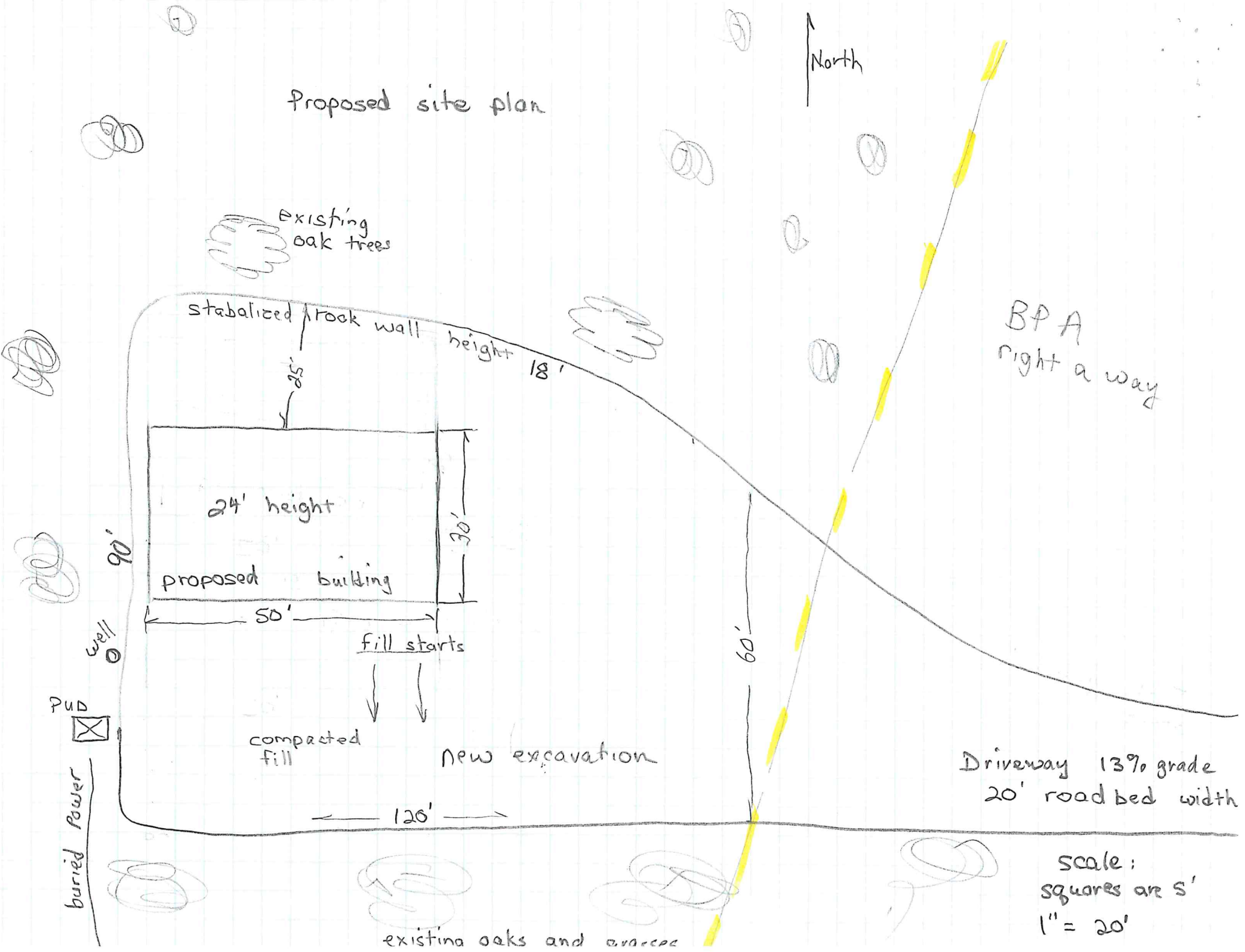


S. Side view



Scale  $\frac{1}{4}'' = 5'$

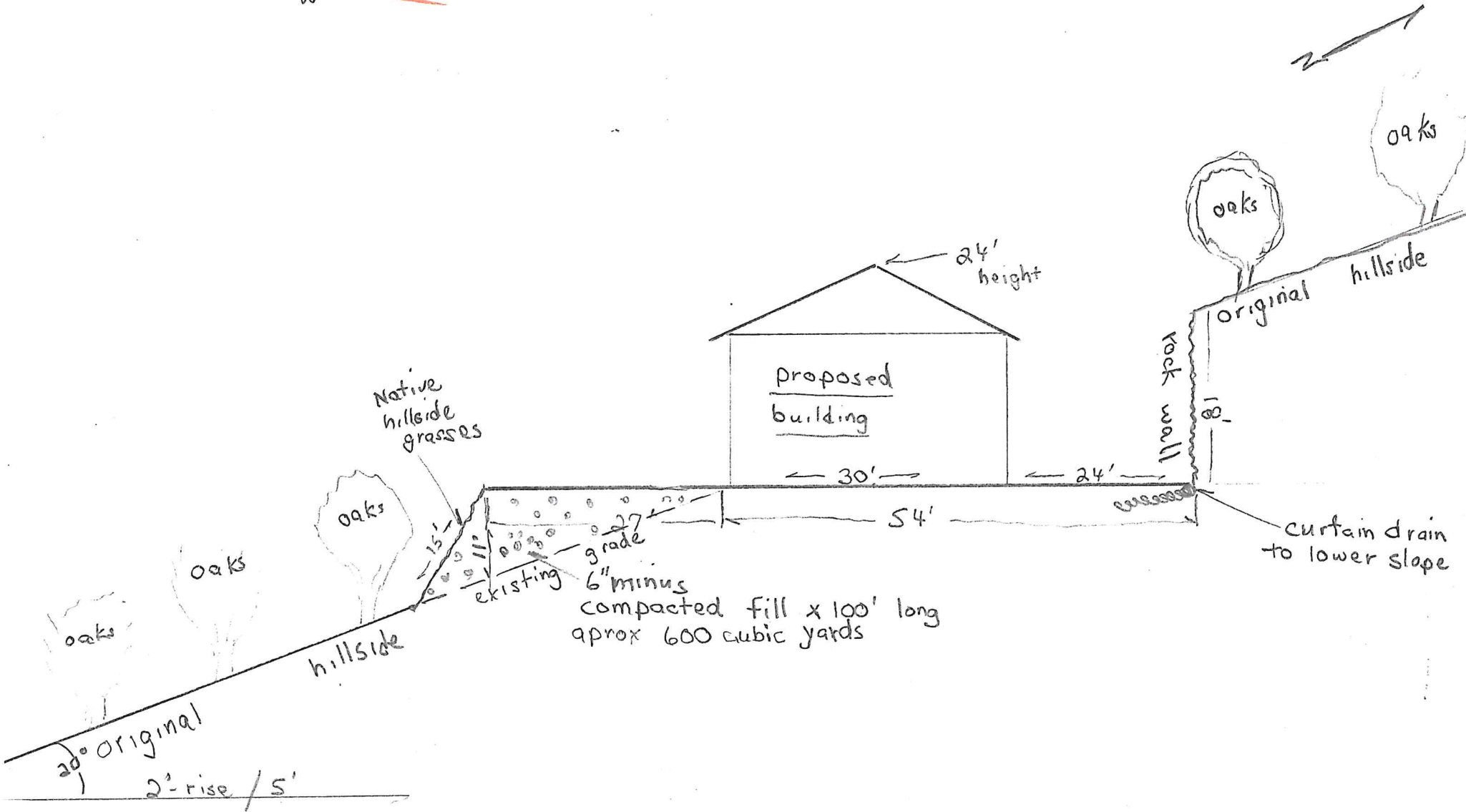
# Proposed site plan



scale:  
squares are 5'  
1" = 20'

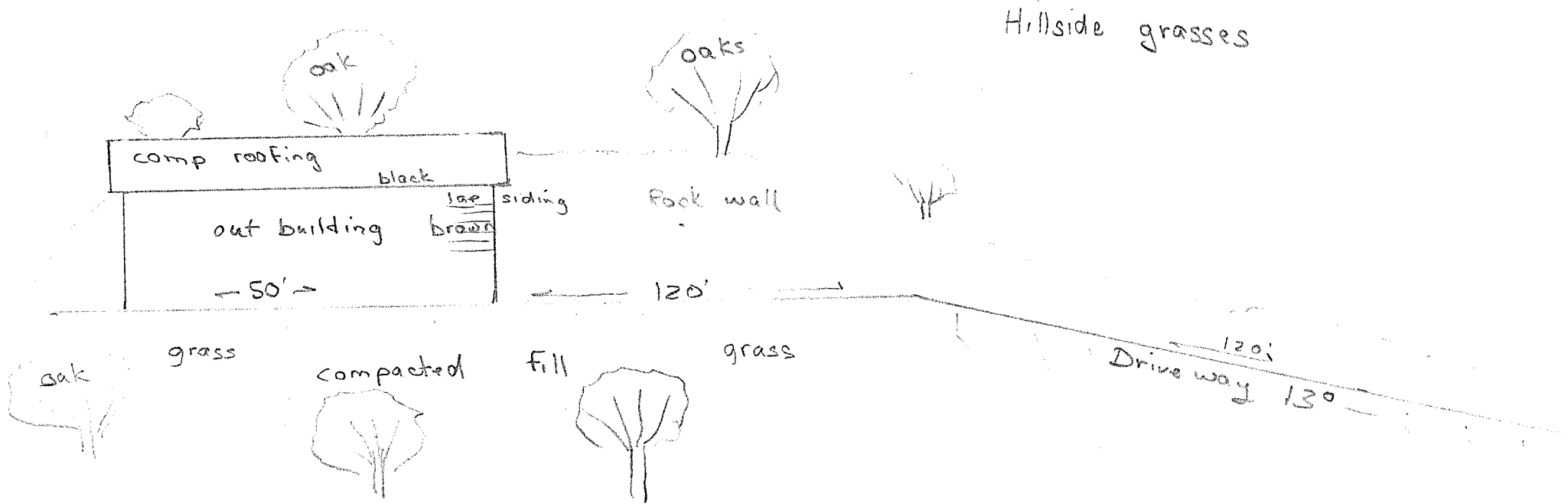
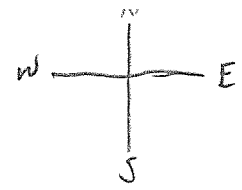


New development Site Plan A (grade)

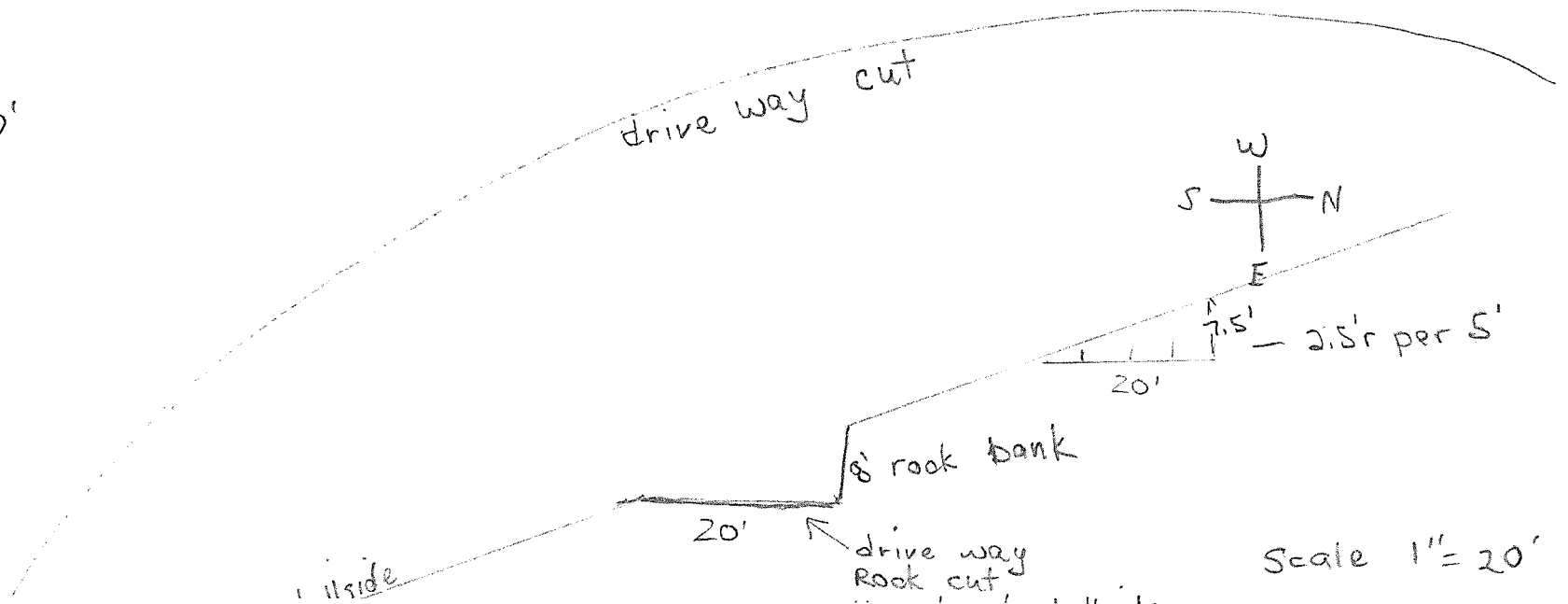


Scale 1" = 15'  
 hillside 1.65' rise every 5'

Side View / looking North:



Scale 1" = 20'



- . Uses within Forest designation (except utility facilities, railroads, home occupations, cottage industries, wineries, agriculture product processing and packaging, mineral resources, geothermal resources, aquaculture, boarding of horses, temporary asphalt/batch plants, expansion of non-profit camps-retreats-conference centers, bed and breakfasts, and non-profit learning/research facilities - see notification of landowners within 500 feet)
- Uses within Commercial designations
- Uses within Recreation designations
- Uses within Open Space designations
- Uses within Agriculture-Special designations
- Uses within Special Management Areas

**Notification of landowners within 500 feet:**

- Single-family dwellings within Residential designation located adjacent to Agriculture or Forest designations
- Non-farm single-family dwellings within Large-Scale Agriculture designation
- Utility facilities, railroad, home occupations, wineries, agriculture product processing and packaging, mineral resources, geothermal resources, aquaculture, boarding of horses, temporary asphalt/batch plants, expansion of nonprofit camps/retreats/conference centers, and bed and breakfasts, non-profit learning/research facilities within Forest designations

**Adjacent property owners (continued):**

you already have this information from my house  
Project

**Township, Range, Section,**

**Tax Lot Number**

**Name, Address, and E-mail (if possible)**

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